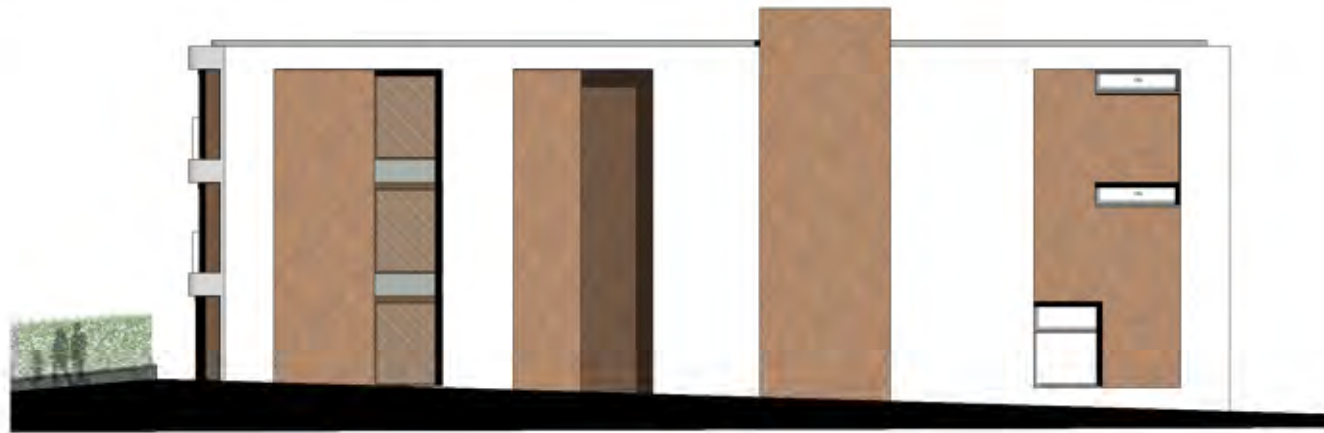


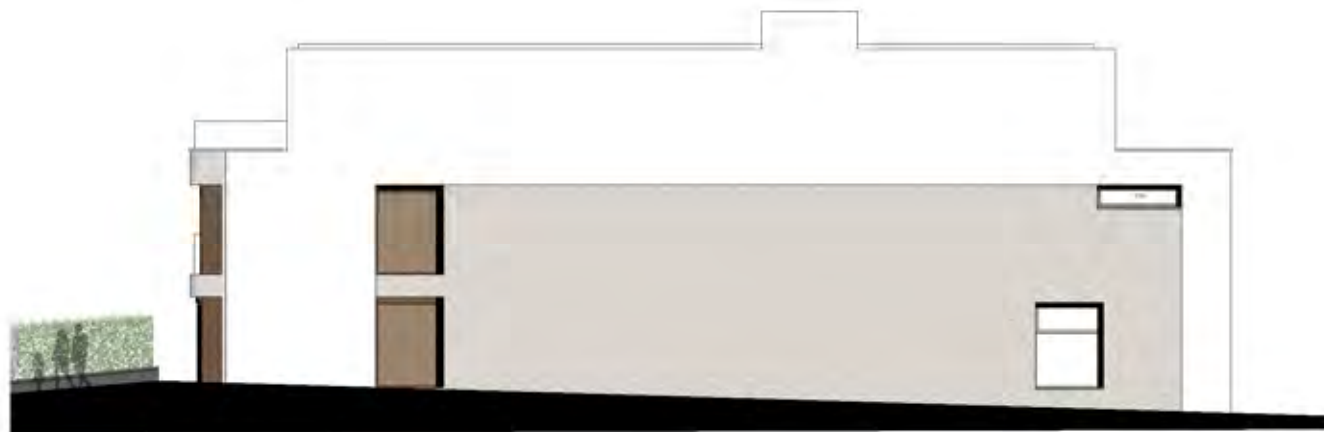
1. Approved Plans – Appeal A: APP/V1260/W/22/3302066



Rear Elevation (East)

Scale 1:100 @A1 / 1:200 @ A3

2. Approved Plans – Appeal B: APP/V1260/W/22/3310674



Rear Elevation (East)

Scale 1:100 @A1 / 1:200 @ A3

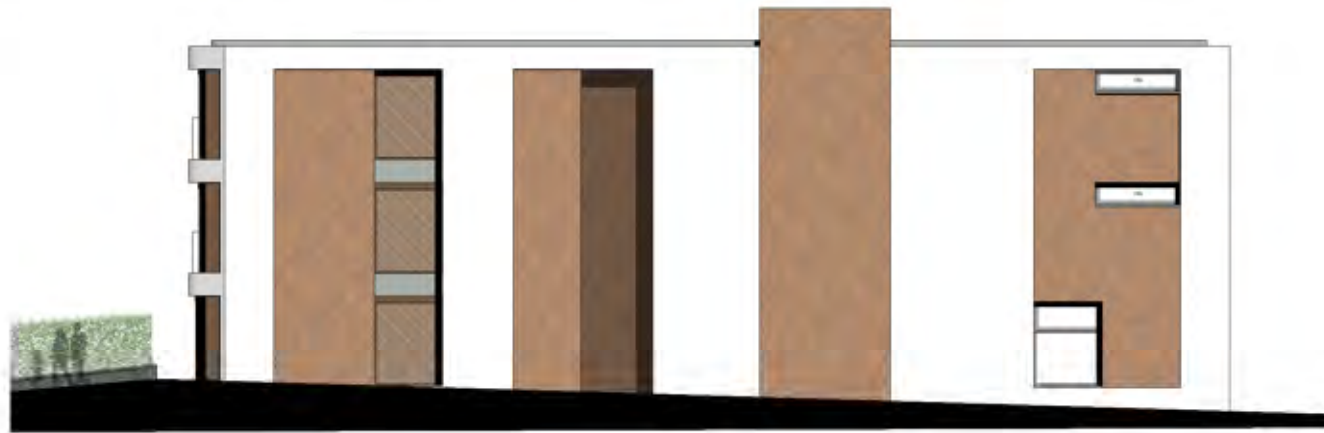
3. Section 73 Plans - 7-2025-28119-C



Rear Elevation (East)

Scale 1:100 @A1 / 1:200 @ A3

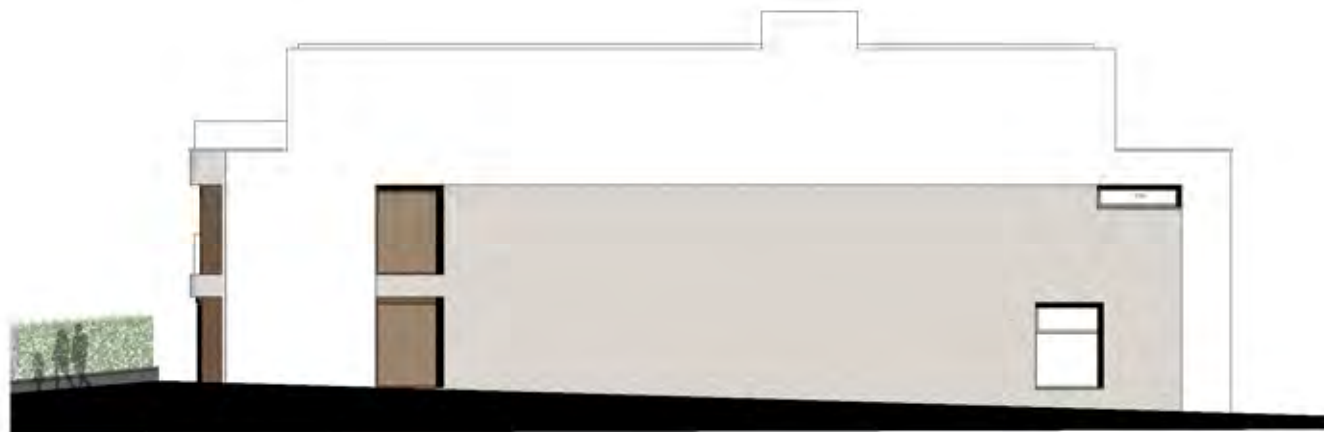
1. Approved Plans – Appeal A: APP/V1260/W/22/3302066



Rear Elevation (East)

Scale 1:100 @A1 / 1:200 @ A3

2. Approved Plans – Appeal B: APP/V1260/W/22/3310674



Rear Elevation (East)

Scale 1:100 @A1 / 1:200 @ A3

3. Section 73 Plans - 7-2025-28119-C



Rear Elevation (East)

Scale 1:100 @A1 / 1:200 @ A3

1. Approved Plans – Appeal A: APP/V1260/W/22/3302066



Rear Elevation (South / North-East)

Scale 1:100 @A1 / 1:200 @ A3

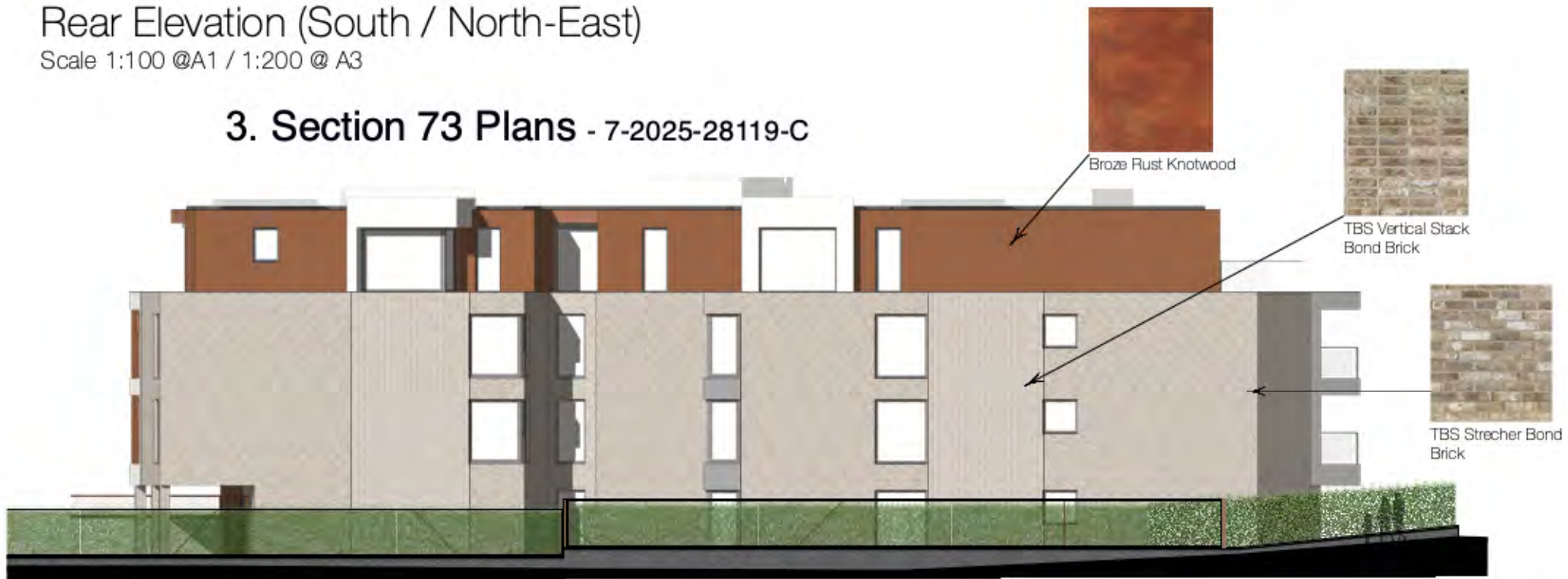
2. Approved Plans – Appeal B: APP/V1260/W/22/3310674



Rear Elevation (South / North-East)

Scale 1:100 @A1 / 1:200 @ A3

3. Section 73 Plans - 7-2025-28119-C



Rear Elevation (South / North-East)

Scale 1:100 @A1 / 1:200 @ A3

1. Approved Plans – Appeal A: APP/V1260/W/22/3302066



Rear Elevation (South / North-East)

Scale 1:100 @A1 / 1:200 @ A3

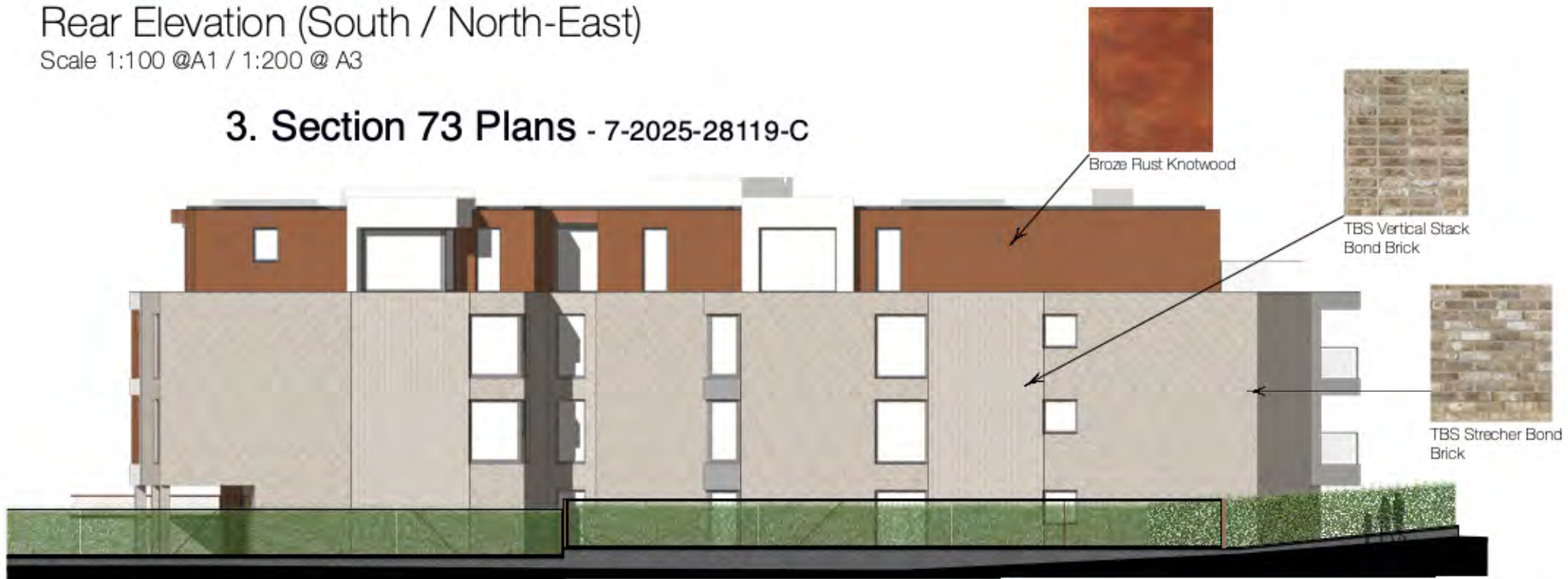
2. Approved Plans – Appeal B: APP/V1260/W/22/3310674



Rear Elevation (South / North-East)

Scale 1:100 @A1 / 1:200 @ A3

3. Section 73 Plans - 7-2025-28119-C



Rear Elevation (South / North-East)

Scale 1:100 @A1 / 1:200 @ A3

1. Approved Plans – Appeal A: APP/V1260/W/22/3302066



Rear Elevation (North-East)

Scale 1:100 @A1 / 1:200 @ A3

2. Approved Plans – Appeal B: APP/V1260/W/22/3310674



Rear Elevation (North-East)

Scale 1:100 @A1 / 1:200 @ A3

3. Section 73 Plans - 7-2025-28119-C



Bronze Rust Knotwood



TBS Vertical Stack Bond Brick



TBS Strecher Bond Brick

Rear Elevation (North-East)

Scale 1:100 @A1 / 1:200 @ A3

1. Approved Plans – Appeal A: APP/V1260/W/22/3302066



Rear Elevation (North-East)

Scale 1:100 @A1 / 1:200 @ A3

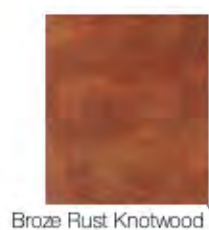
2. Approved Plans – Appeal B: APP/V1260/W/22/3310674



Rear Elevation (North-East)

Scale 1:100 @A1 / 1:200 @ A3

3. Section 73 Plans - 7-2025-28119-C



Bronze Rust Knotwood



TBS Vertical Stack Bond Brick

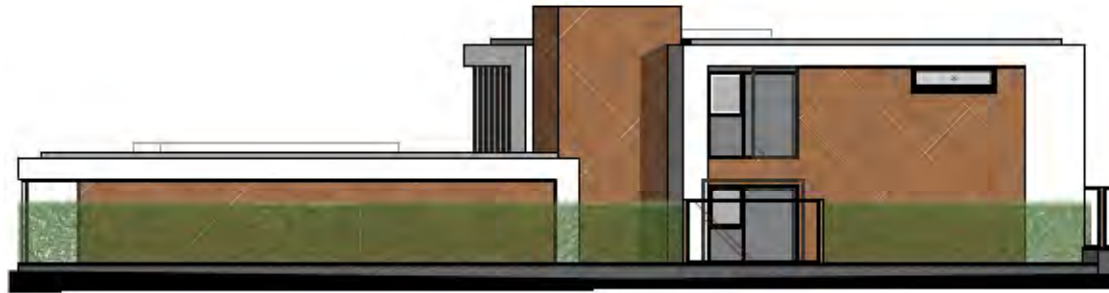


TBS Strecher Bond Brick

Rear Elevation (North-East)

Scale 1:100 @A1 / 1:200 @ A3

1. Approved Plans – Appeal A: APP/V1260/W/22/3302066



Rear Elevation (North)

Scale 1:100 @A1 / 1:200 @ A3

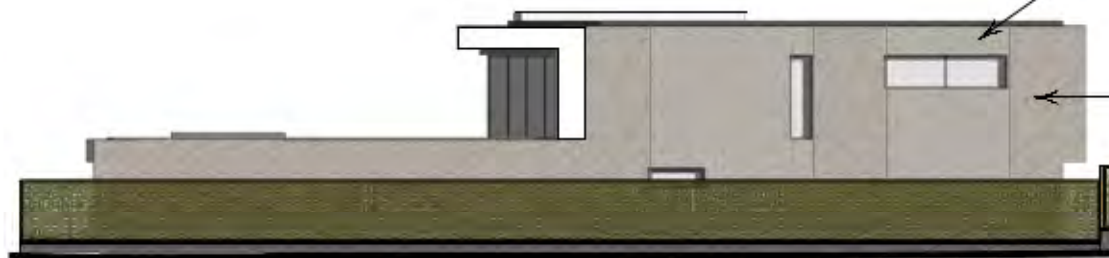
2. Approved Plans – Appeal B: APP/V1260/W/22/3310674



Rear Elevation (North)

Scale 1:100 @A1 / 1:200 @ A3

3. Section 73 Plans - 7-2025-28119-C



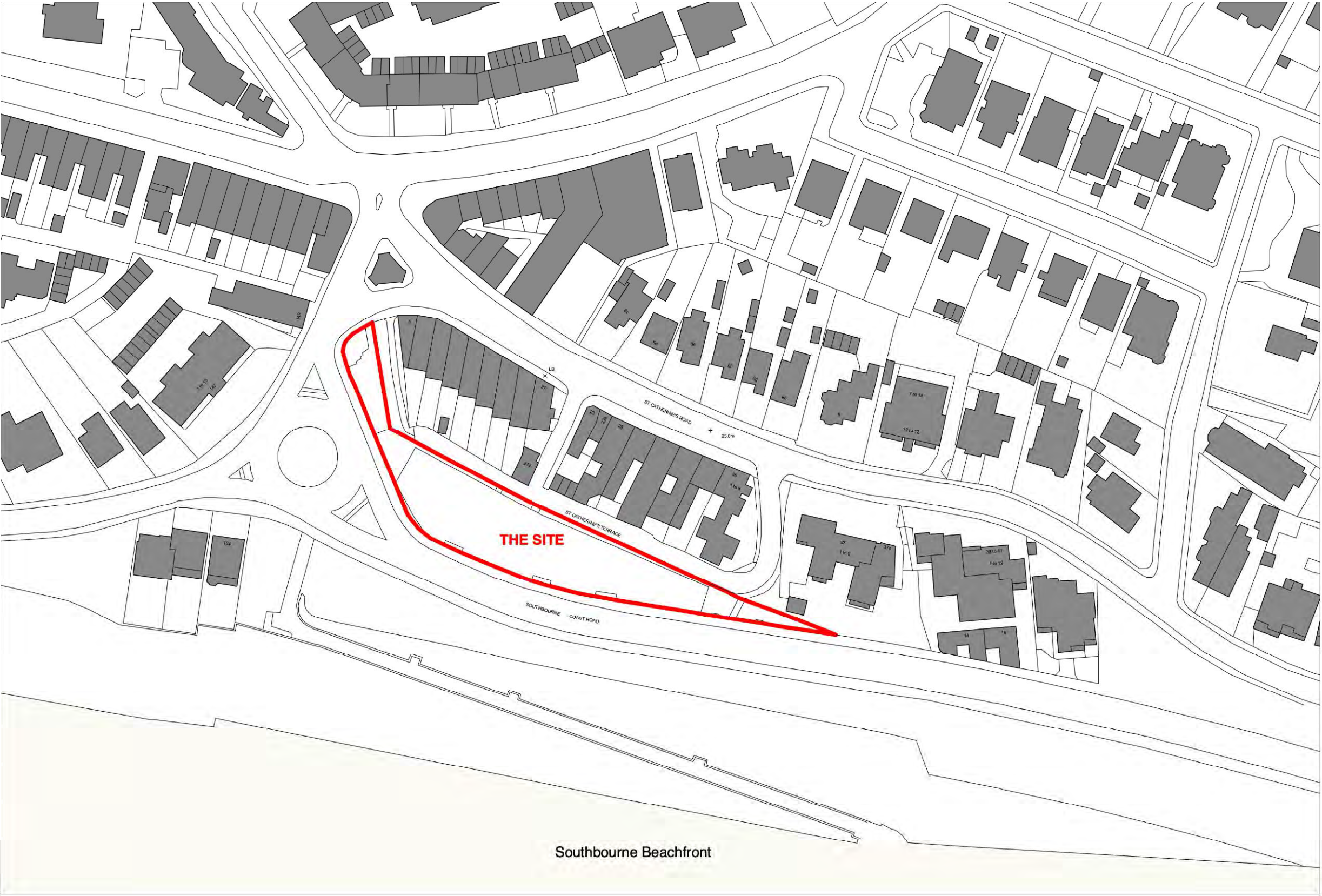
TBS Vertical Stack Bond Brick



TBS Strecher Bond Brick

Rear Elevation (North)

Scale 1:100 @A1 / 1:200 @ A3



Location Plan
Scale 1:1250 @A1 / 1:2500 @ A3



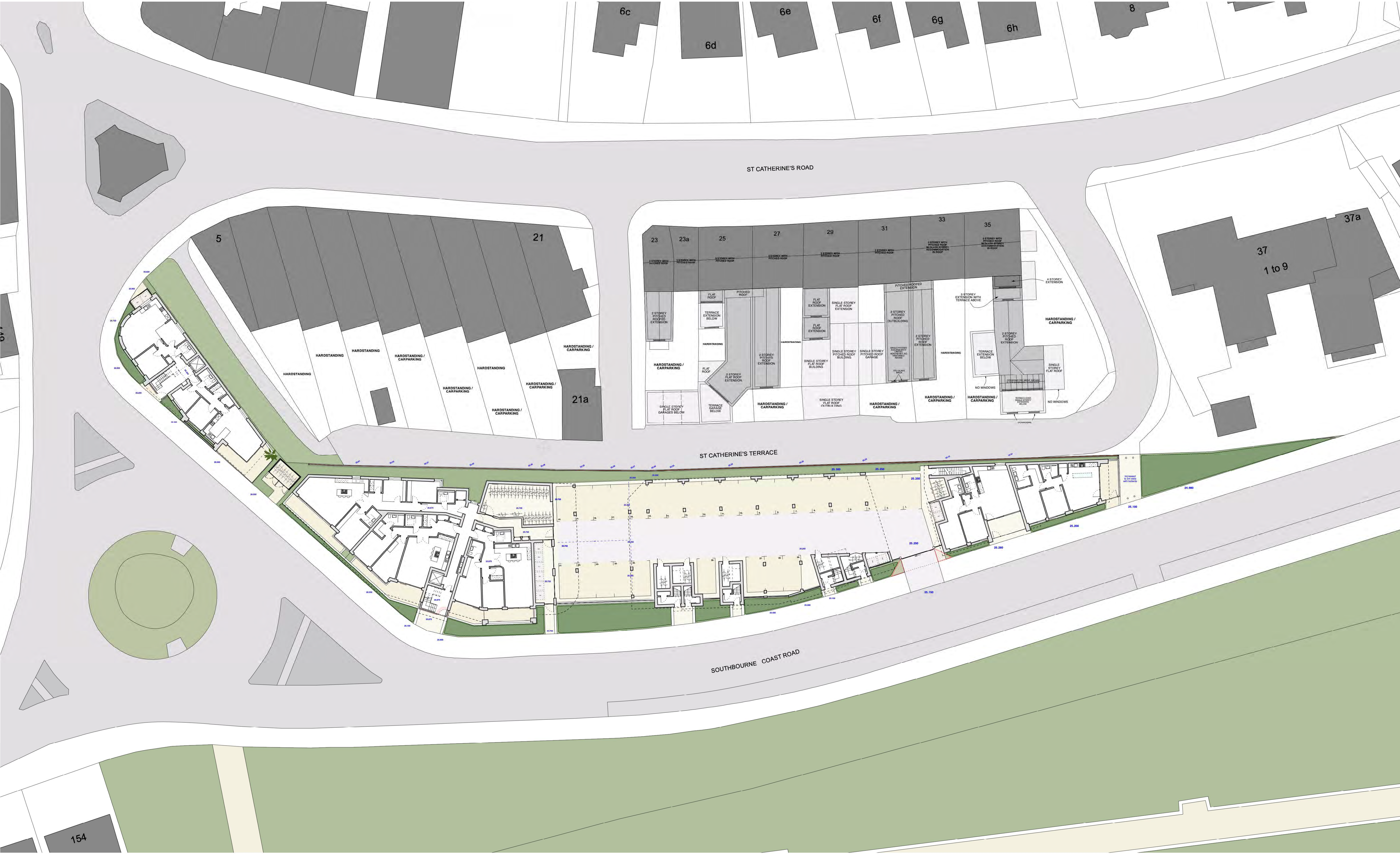
Application Site - View 1

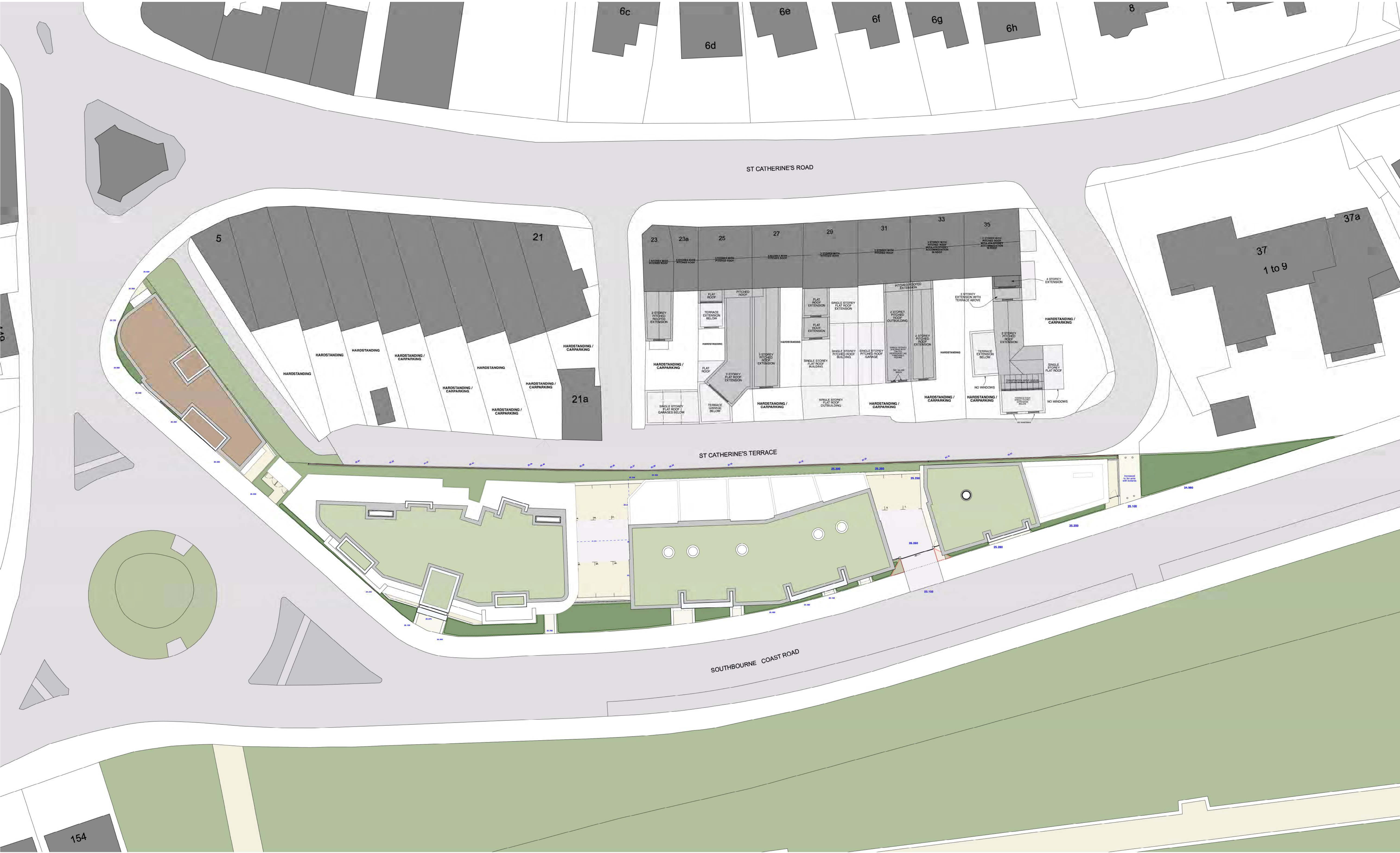


Application Site - View 2



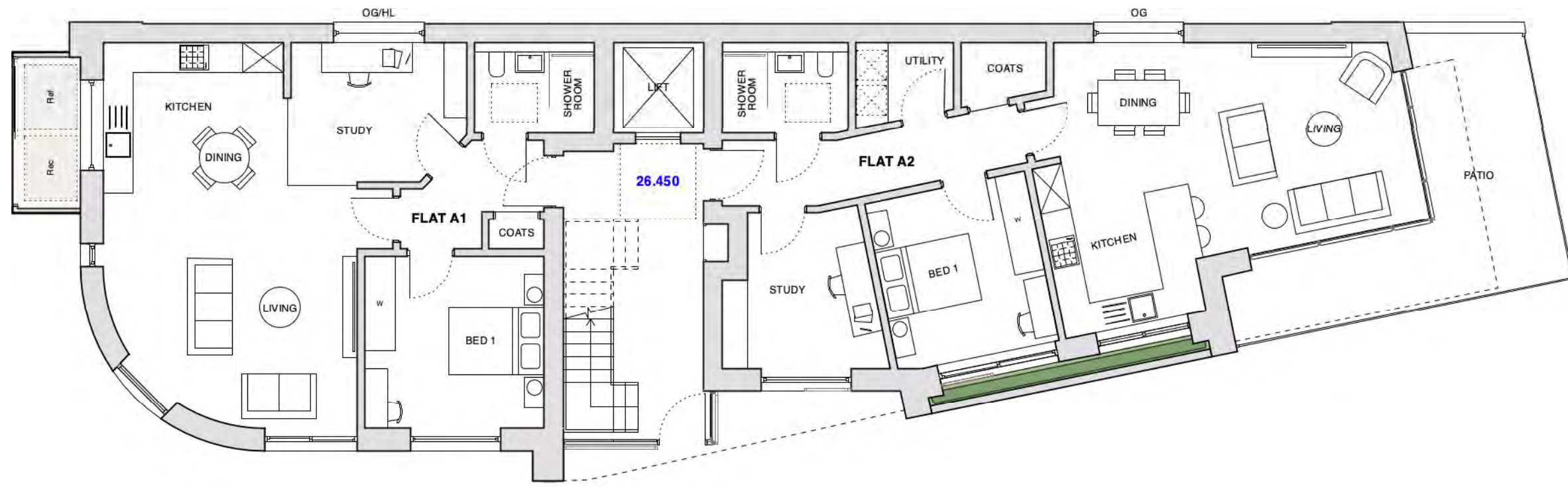
Block Plan
Scale 1:500 @A1 / 1:1000 @ A3



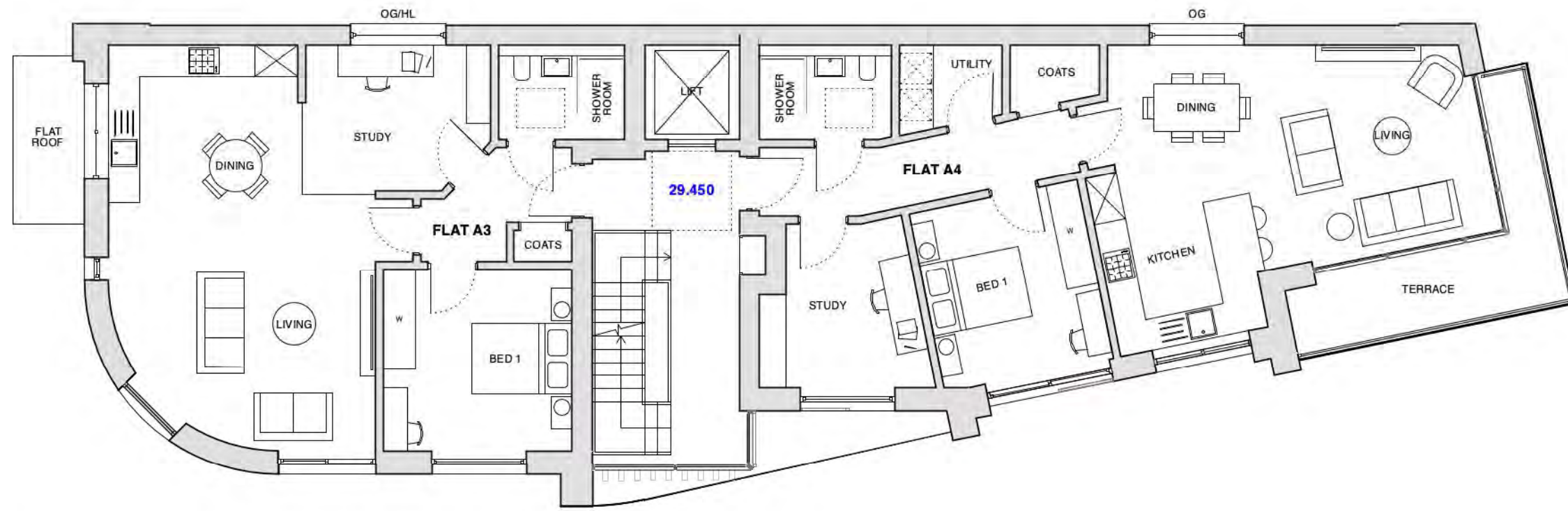


Site Plan - showing roof plan
Scale 1:250 @A1 / 1:500 @ A3

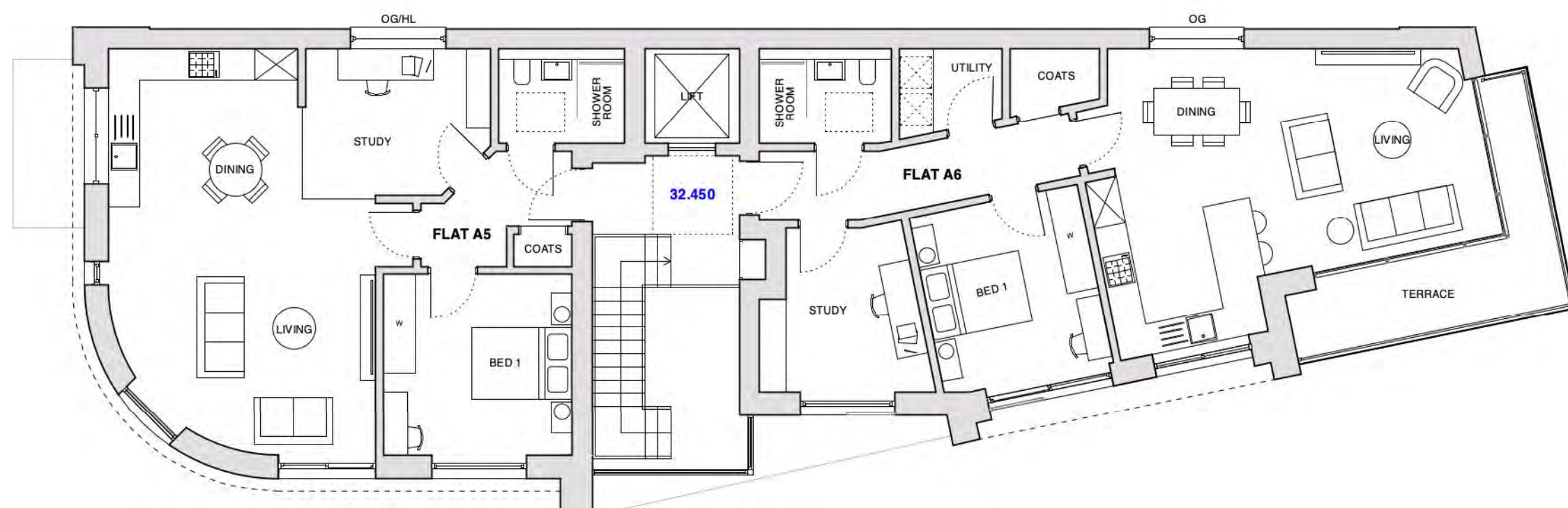




Ground Floor Plan
Scale 1:100 @ A1 / 1:200 @ A3



First Floor Plan
Scale 1:100 @ A1 / 1:200 @ A3



Second Floor Plan
Scale 1:100 @ A1 / 1:200 @ A3



Front Elevation (West)
Scale 1:100 @ A1 / 1:200 @ A3



Indicative 3D View
NTS

Brown Roof
as per Cherry Tree Ltd. Specification



BLOCK A



OG Obscure Glazing
HL High Level Window

Southbourne Cross Car Park, Southbourne

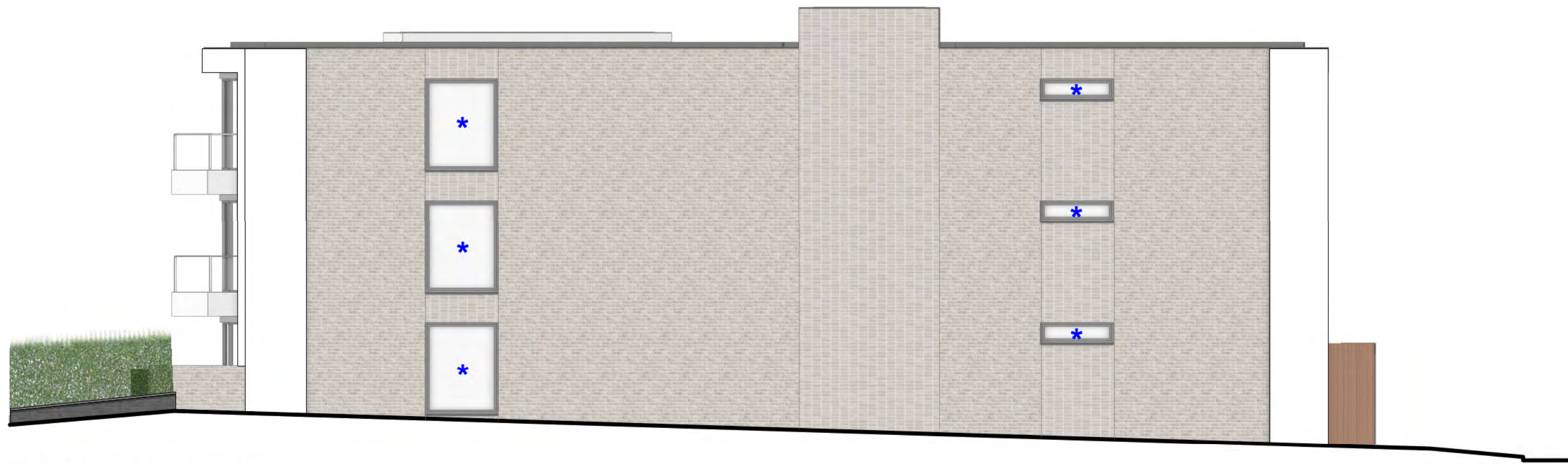
Block A - Plans & Elevations | **1820 73B** | **davidjames architects & partners ltd**
tel: 01202 755633

rev: REV_A_2025.02.05_Brown roof added_ES
REV_B_2025.02.28_Wall thickness adjusted_ES

Drawn By : ES Checked By : DJ

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dja.



Rear Elevation (East)
Scale 1:100 @A1 / 1:200 @ A3



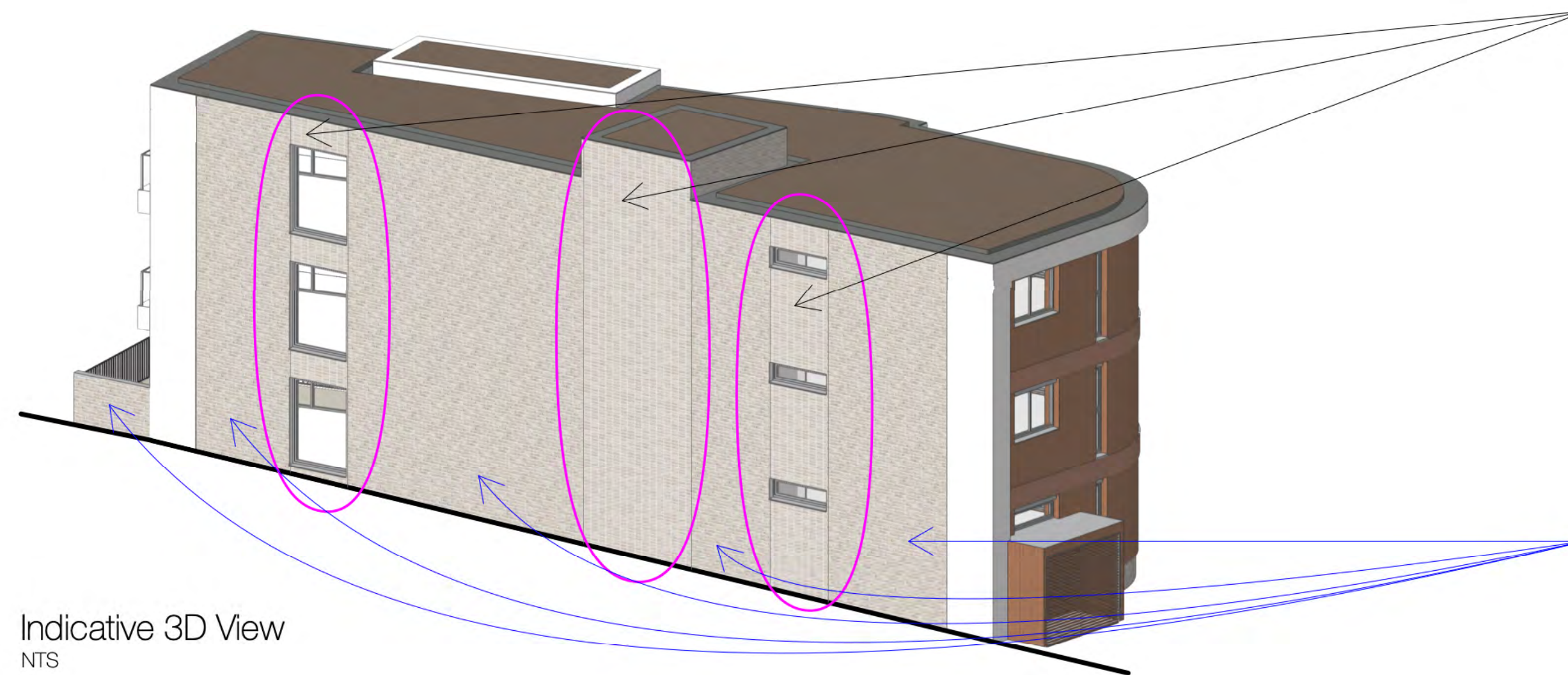
Indicative 3D View
NTS



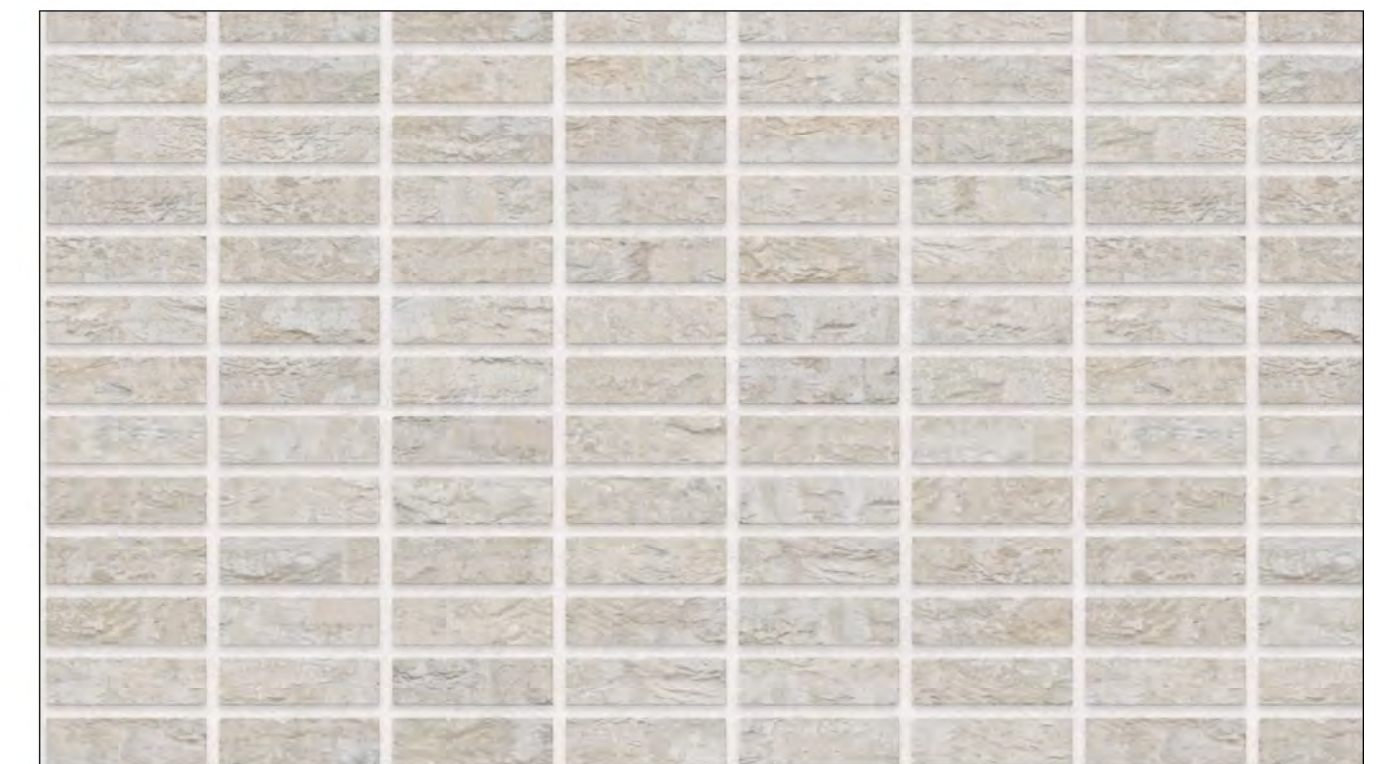
Side Elevation (South)
Scale 1:100 @A1 / 1:200 @ A3



Side Elevation (North)
Scale 1:100 @A1 / 1:200 @ A3



Indicative 3D View
NTS

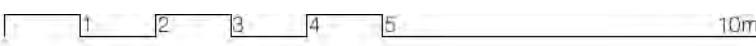


Stack bond brickwork



Stretcher bond brickwork

BLOCK A



rev: REV_A_2025.02.05_Brown roof added_ES
REV_B_2025.02.14_Brick pattern added to rear elevations_ES
REV_C_2025.02.28_Brick pattern and render adjusted_ES
REV_D_2025.03.31_Brick pattern detail added_ES

Southbourne Cross Car Park, Southbourne

Drawn By : ES Checked By : DJ

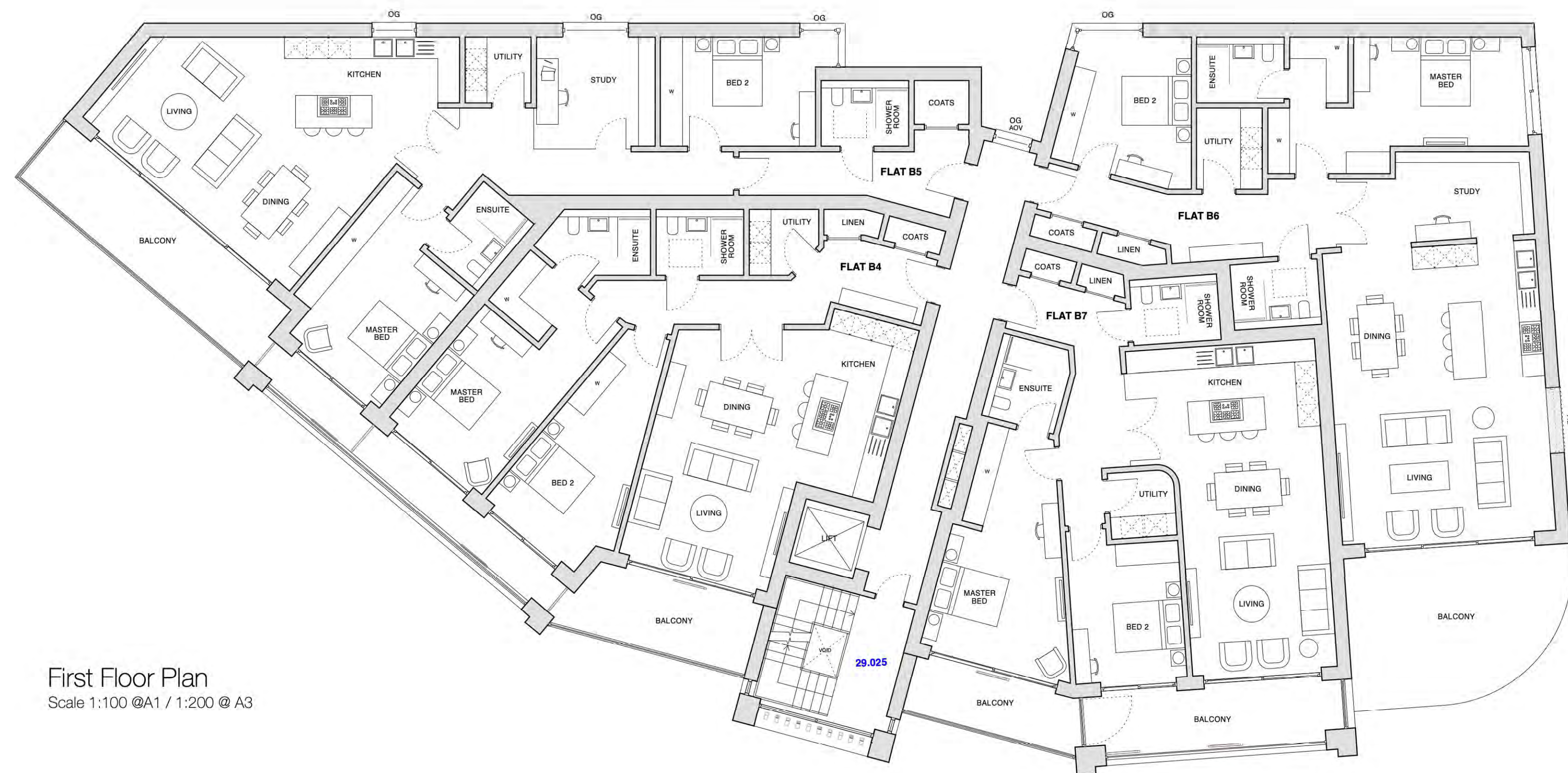
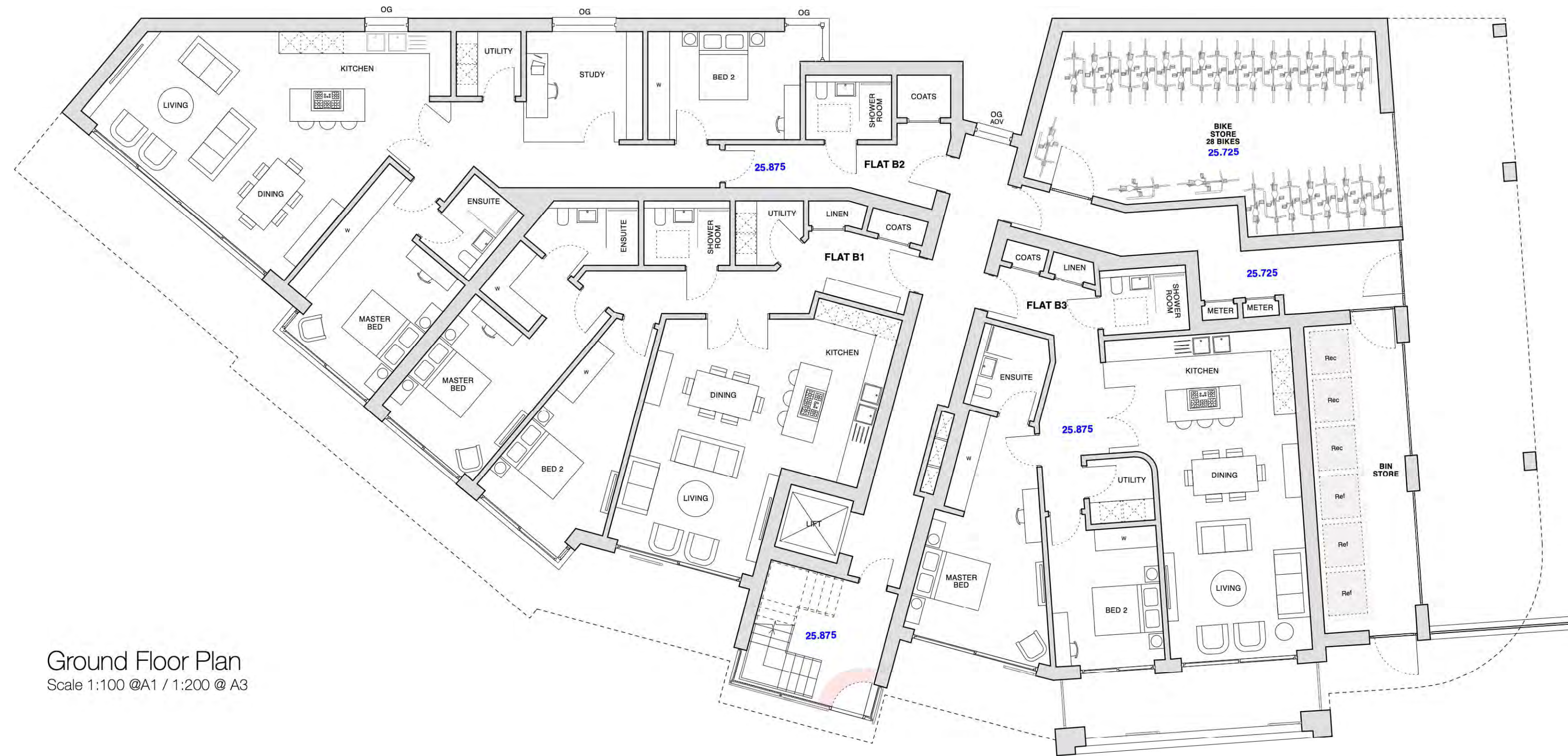
Block A - Elevations | 1820 74D | davidjames architects & partners ltd

tel: 01202 755633

* Obscure Glazing

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BLOCK B

1 2 3 4 5 10m

OG Obscure Glazing
HL High Level Window

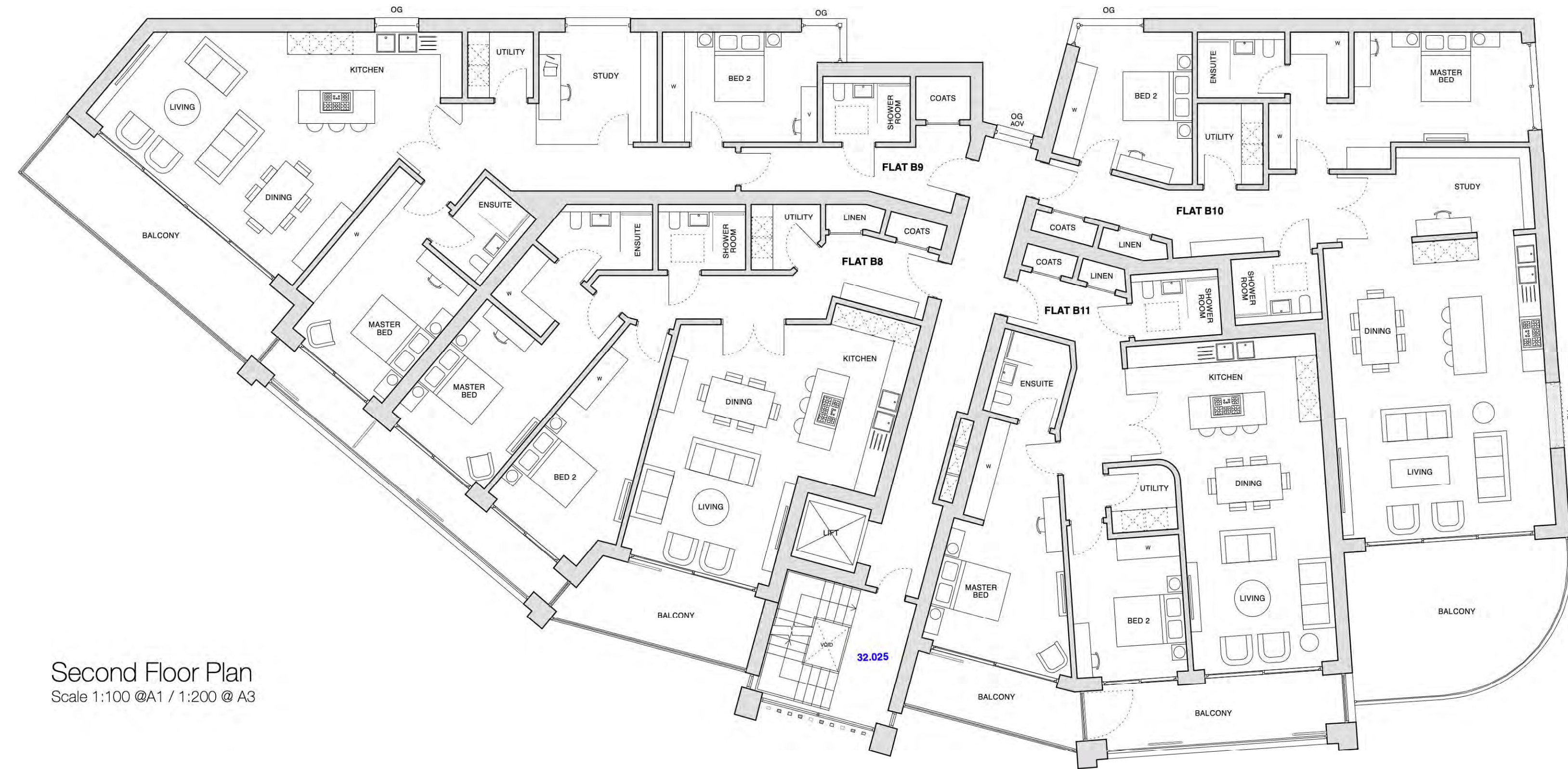
Southbourne Cross Car Park, Southbourne

Block B - Plans | **1820 75A** | davidjames architects & partners ltd
tel: 01202 755633

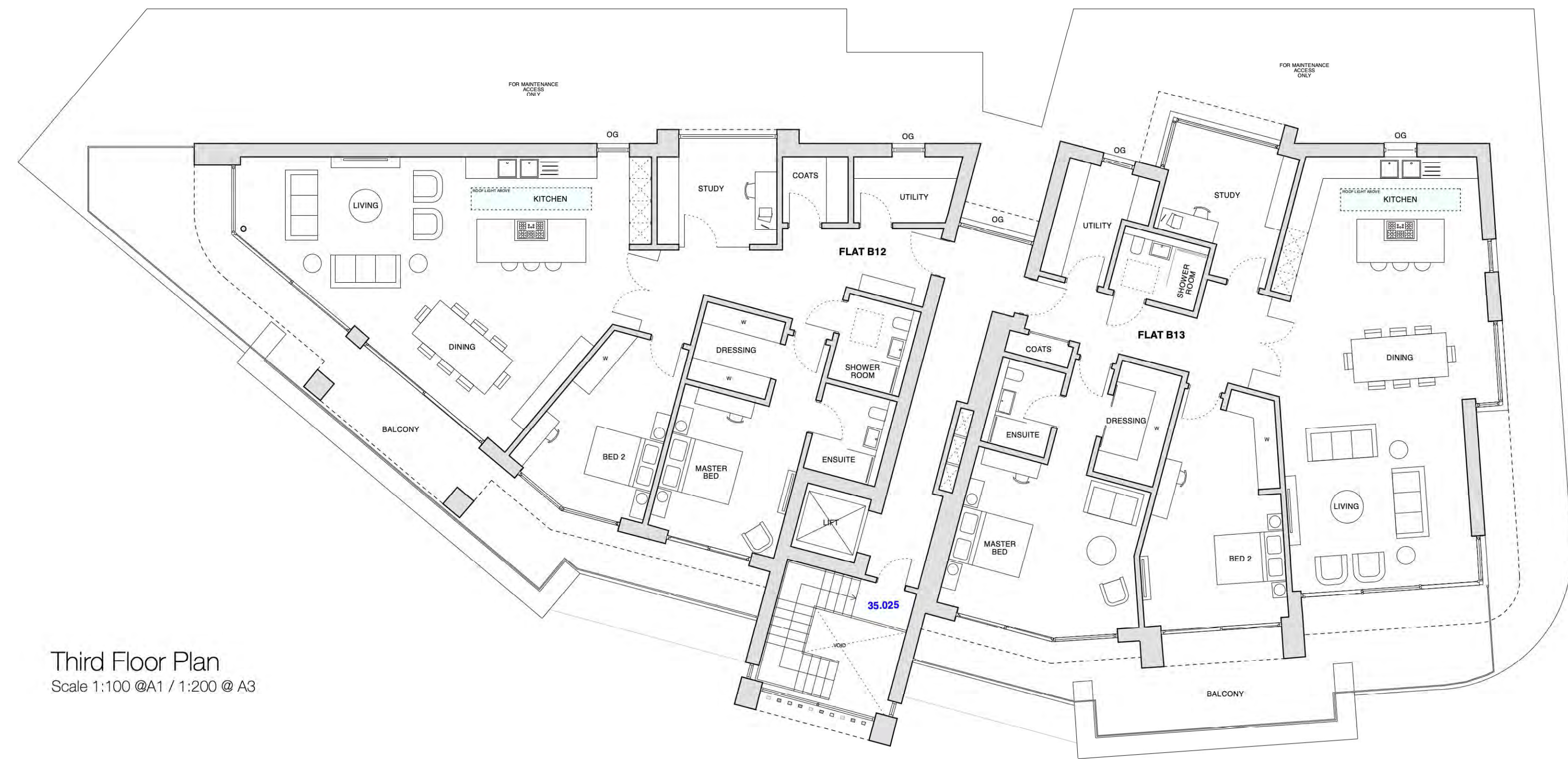
rev: REV_A_2025.02.14_Flat B6 Kitchen/study area revised_ES

Drawn By : ES Checked By : DJ

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Second Floor Plan
Scale 1:100 @ A1 / 1:200 @ A3



Third Floor Plan
Scale 1:100 @ A1 / 1:200 @ A3

BLOCK B

1 2 3 4 5 10m

OG Obscure Glazing
HL High Level Window

Southbourne Cross Car Park, Southbourne

Block B - Plans | **1820 76A** | davidjames architects & partners ltd

tel: 01202 755633

rev: REV_A_2025.02.14_Flat B10 Kitchen/study area revised_ES

Drawn By : ES Checked By : DJ

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Front Elevation (South / South-West)
Scale 1:100 @A1 / 1:200 @ A3



Indicative 3D View



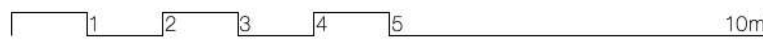
Indicative 3D View



Rear Elevation (South / North-East)
Scale 1:100 @A1 / 1:200 @ A3



BLOCK B



Stack bond brickwork



Stretcher bond brickwork

* Obscure Glazing



rev: REV_A_2025.02.14_Brick pattern added to rear elevations_ES
REV_B_2025.02.28_Brick pattern revised_ES
REV_C_2025.03.31_Brick pattern detail added_ES
REV_D_2025.04.14_Living wall shown_ES

Southbourne Cross Car Park, Southbourne

Block B - Elevations | 1820 77D | davidjames architects & partners ltd
tel: 01202 755633

Drawn By : ES Checked By : DJ

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Front Elevation (South / South-West)
Scale 1:100 @A1 / 1:200 @ A3



Indicative 3D View



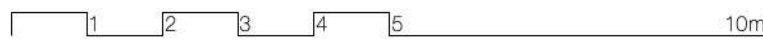
Indicative 3D View



Rear Elevation (South / North-East)
Scale 1:100 @A1 / 1:200 @ A3



BLOCK B



Stack bond brickwork



Stretcher bond brickwork

* Obscure Glazing



rev: REV_A_2025.02.14_Brick pattern added to rear elevations_ES
REV_B_2025.02.28_Brick pattern revised_ES
REV_C_2025.03.31_Brick pattern detail added_ES
REV_D_2025.04.14_Living wall shown_ES

Southbourne Cross Car Park, Southbourne

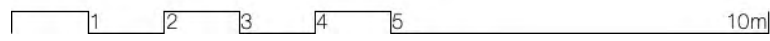
Block B - Elevations | 1820 77D | davidjames architects & partners ltd
tel: 01202 755633

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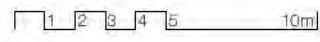
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Side Elevation (East)
Scale 1:100 @A1 / 1:200 @ A3



Indicative Site Section (East)
Scale 1:250 @A1 / 1:500 @ A3



BLOCK B

Scale as shown



rev: REV_A_2025.04.14_Site section revised_ES

Southbourne Cross Car Park, Southbourne

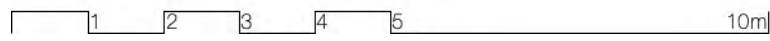
Block B - Elevations & Indicative Site Sections | **1820 78A** | **davidjames architects & partners ltd**
tel: 01202 755633

Drawn By : ES Checked By : DJ

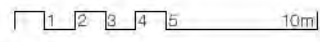
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Side Elevation (East)
Scale 1:100 @A1 / 1:200 @ A3



Indicative Site Section (East)
Scale 1:250 @A1 / 1:500 @ A3



BLOCK B

Scale as shown



rev: REV_A_2025.04.14_Site section revised_ES

Southbourne Cross Car Park, Southbourne

Block B - Elevations & Indicative Site Sections | **1820 78A** | **davidjames architects & partners ltd**
tel: 01202 755633

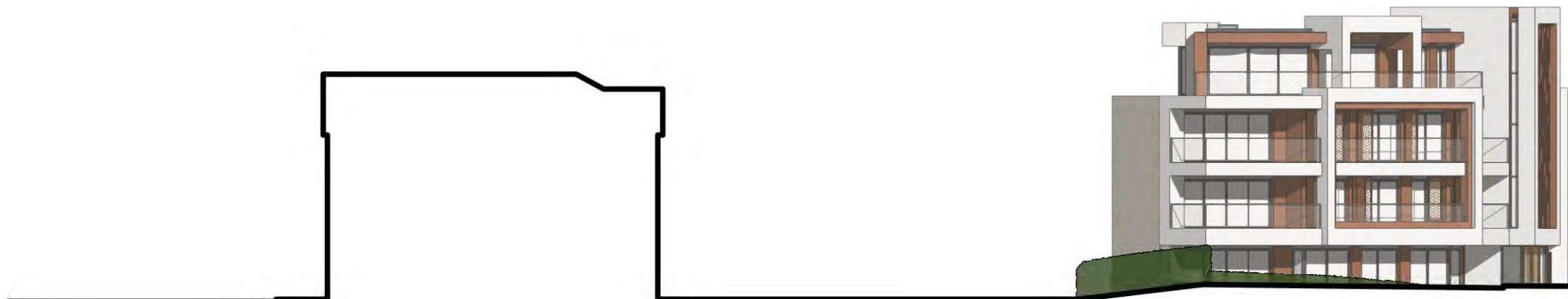
Drawn By : ES Checked By : DJ

Note: Do not scale from this drawing. This drawing is copyright and remains the property of David James Architects & Partners Ltd. Unauthorised use for any purpose is prohibited. ©



Side Elevation (North West)
Scale 1:100 @A1 / 1:200 @ A3

1 2 3 4 5 10m



Indicative Site Section (North West)
Scale 1:250 @A1 / 1:500 @ A3

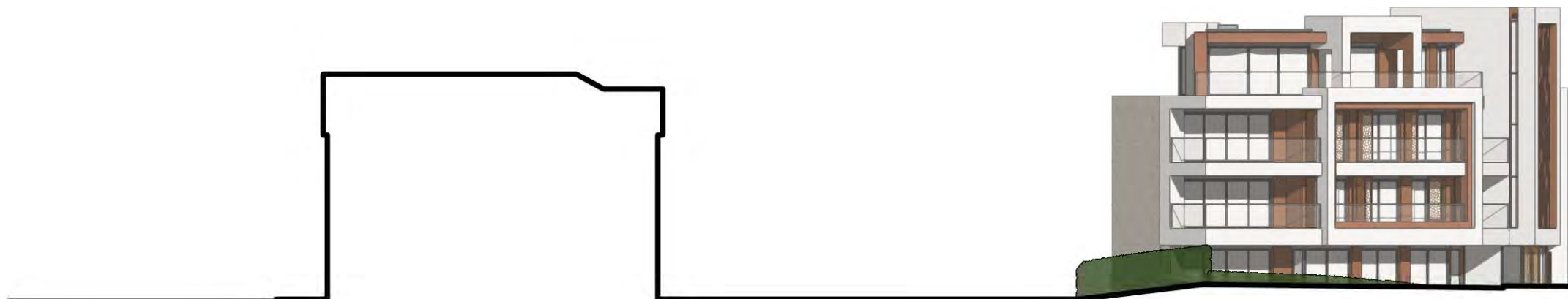
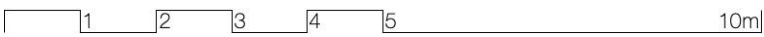
1 2 3 4 5 10m

BLOCK B

Scale as shown



Side Elevation (North West)
Scale 1:100 @A1 / 1:200 @ A3



Indicative Site Section (North West)
Scale 1:250 @A1 / 1:500 @ A3



BLOCK B

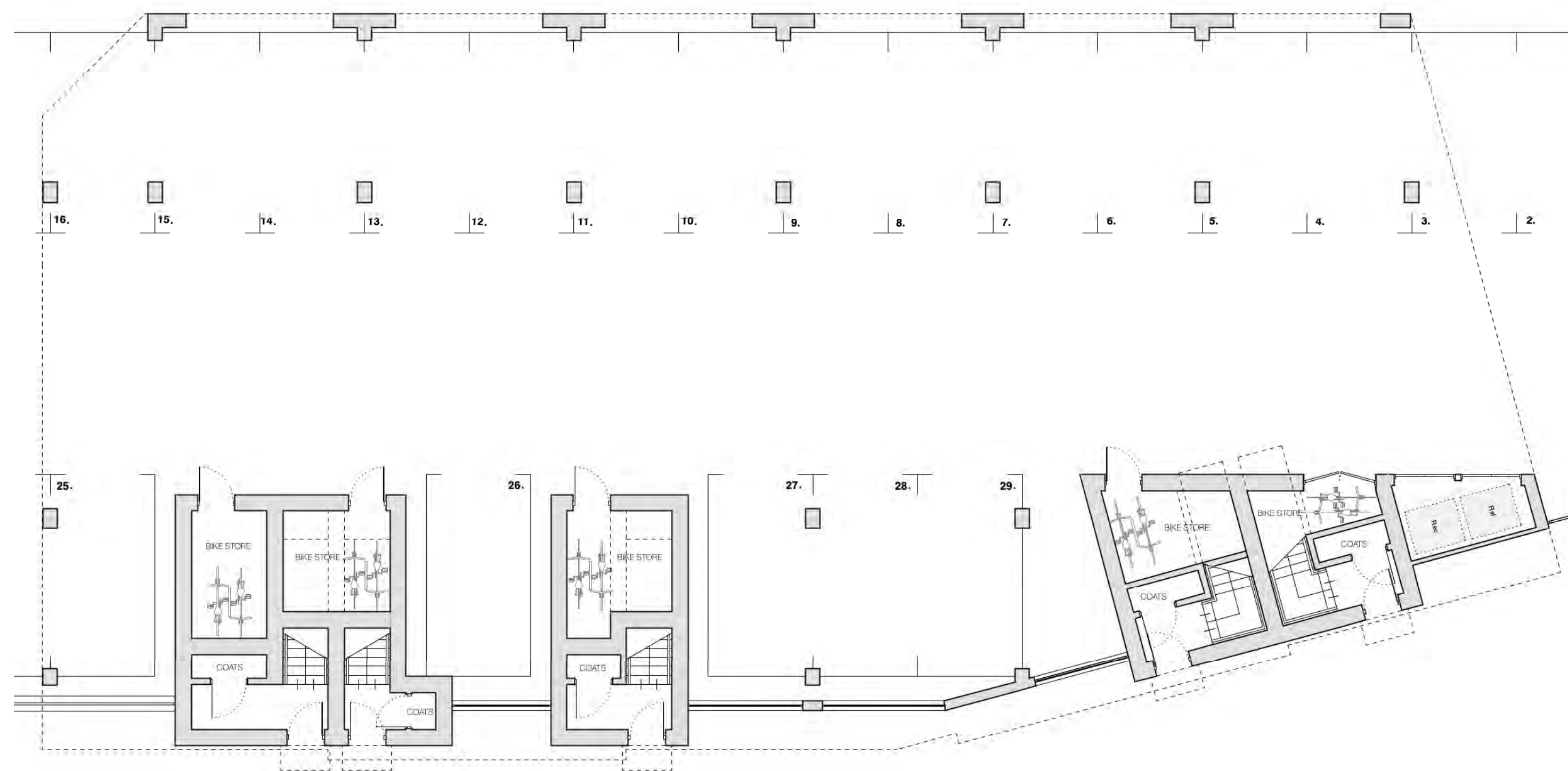
Scale as shown



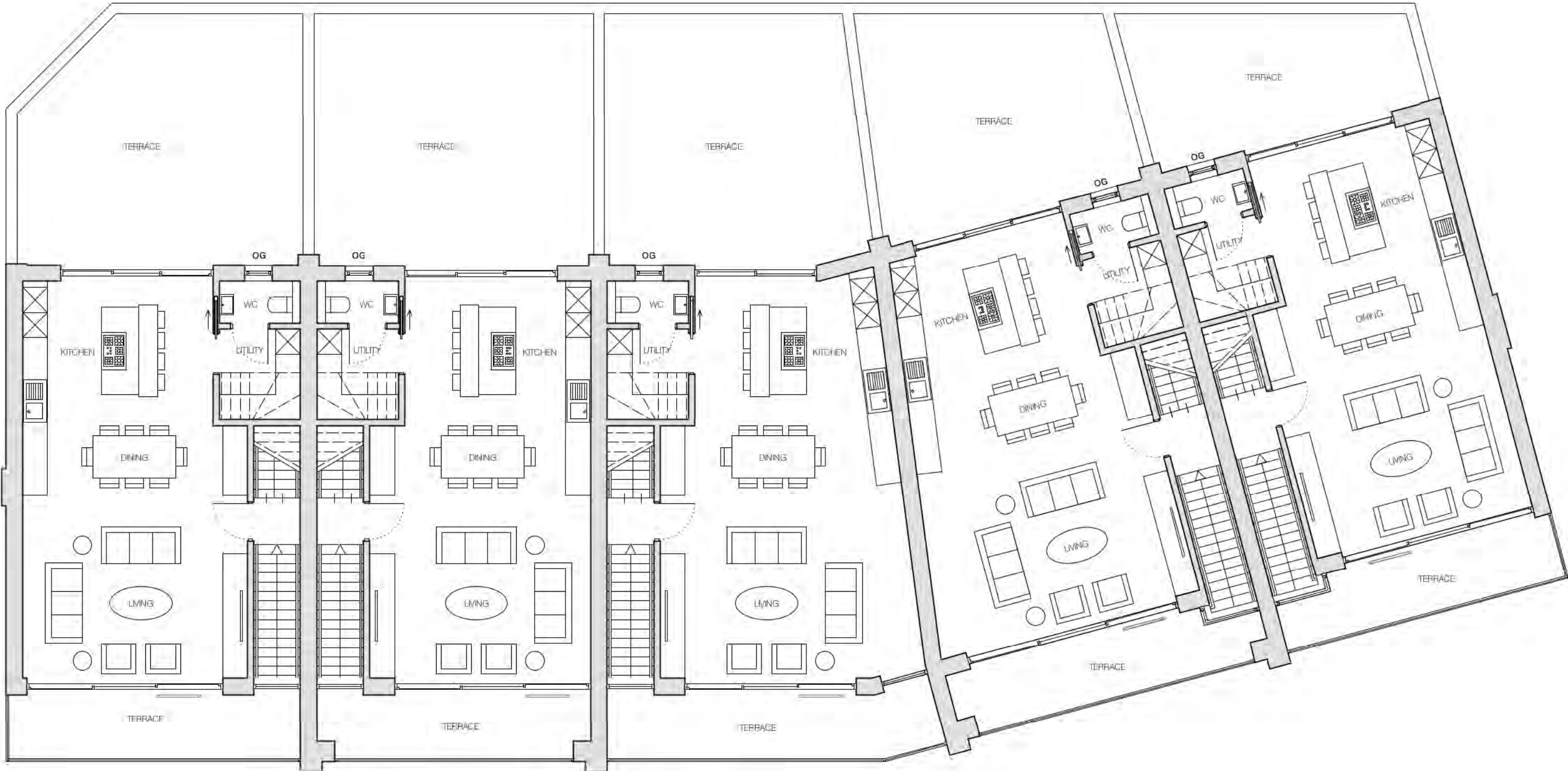
rev:

Drawn By :	ES	Checked By :	DJ
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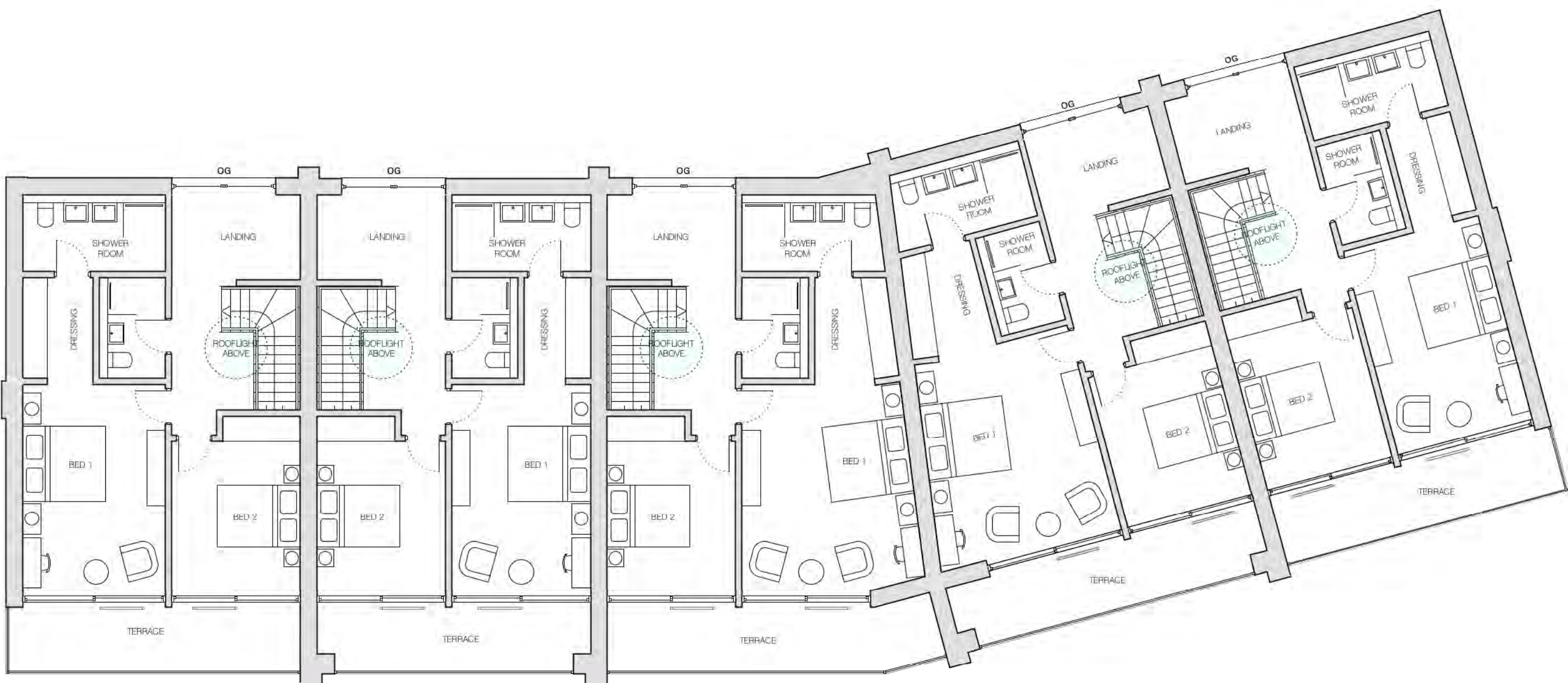
Southbourne Cross Car Park, Southbourne



Ground Floor Plan
Scale 1:100 @A1 / 1:200 @ A3

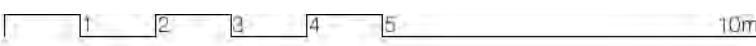


First Floor Plan
Scale 1:100 @A1 / 1:200 @ A3



Second Floor Plan
Scale 1:100 @A1 / 1:200 @ A3

BLOCK C



OG Obscure Glazing

Southbourne Cross Car Park, Southbourne

rev: REV_A_2025.02.14_Flat B10 Study omitted_ES
REV_B_2025.04.14_Wall thickness adjusted for render band_ES

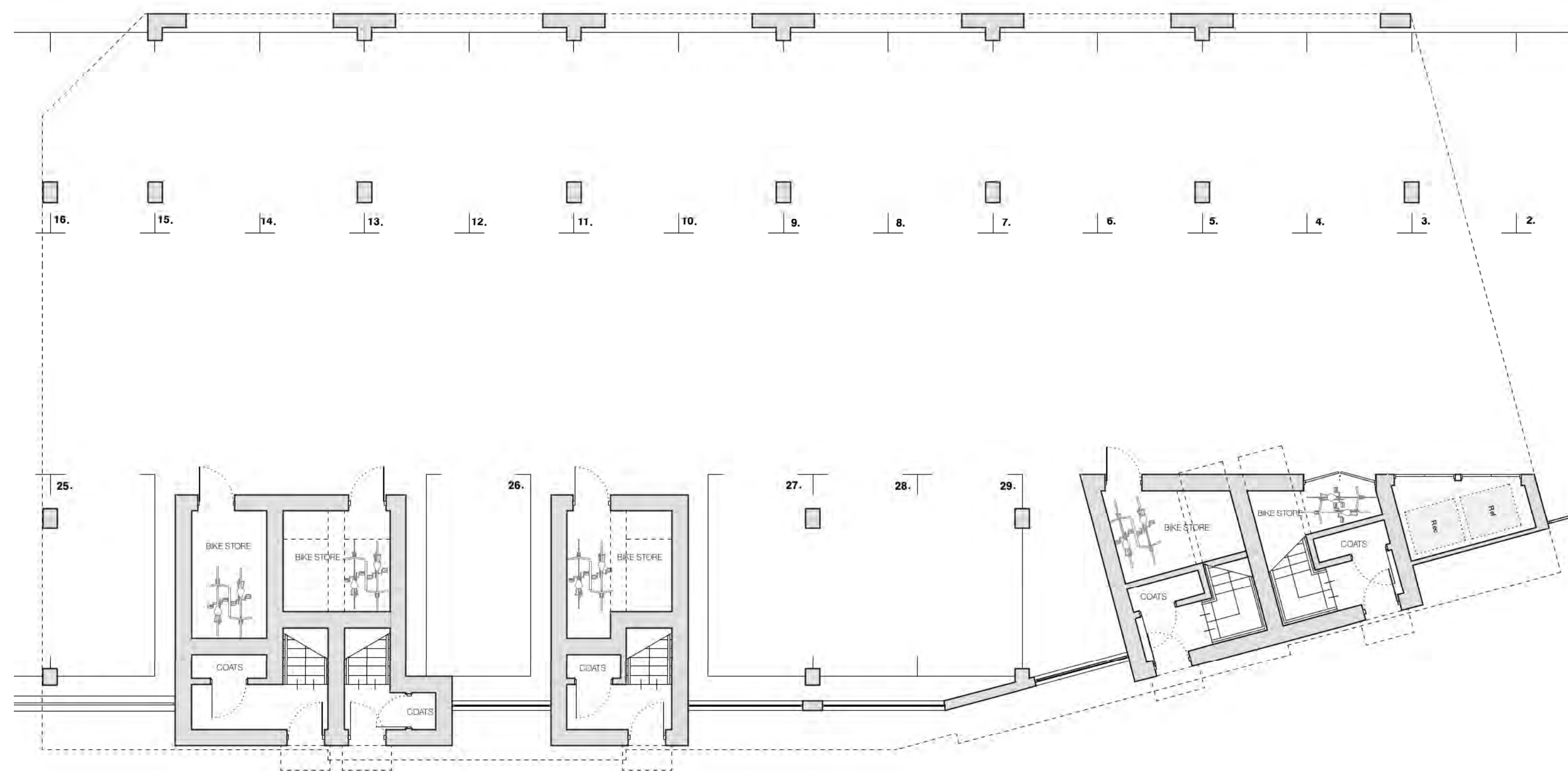
Drawn By : AW Checked By : DJ

Block C - Plans | **1820 80B** | davidjames architects & partners ltd

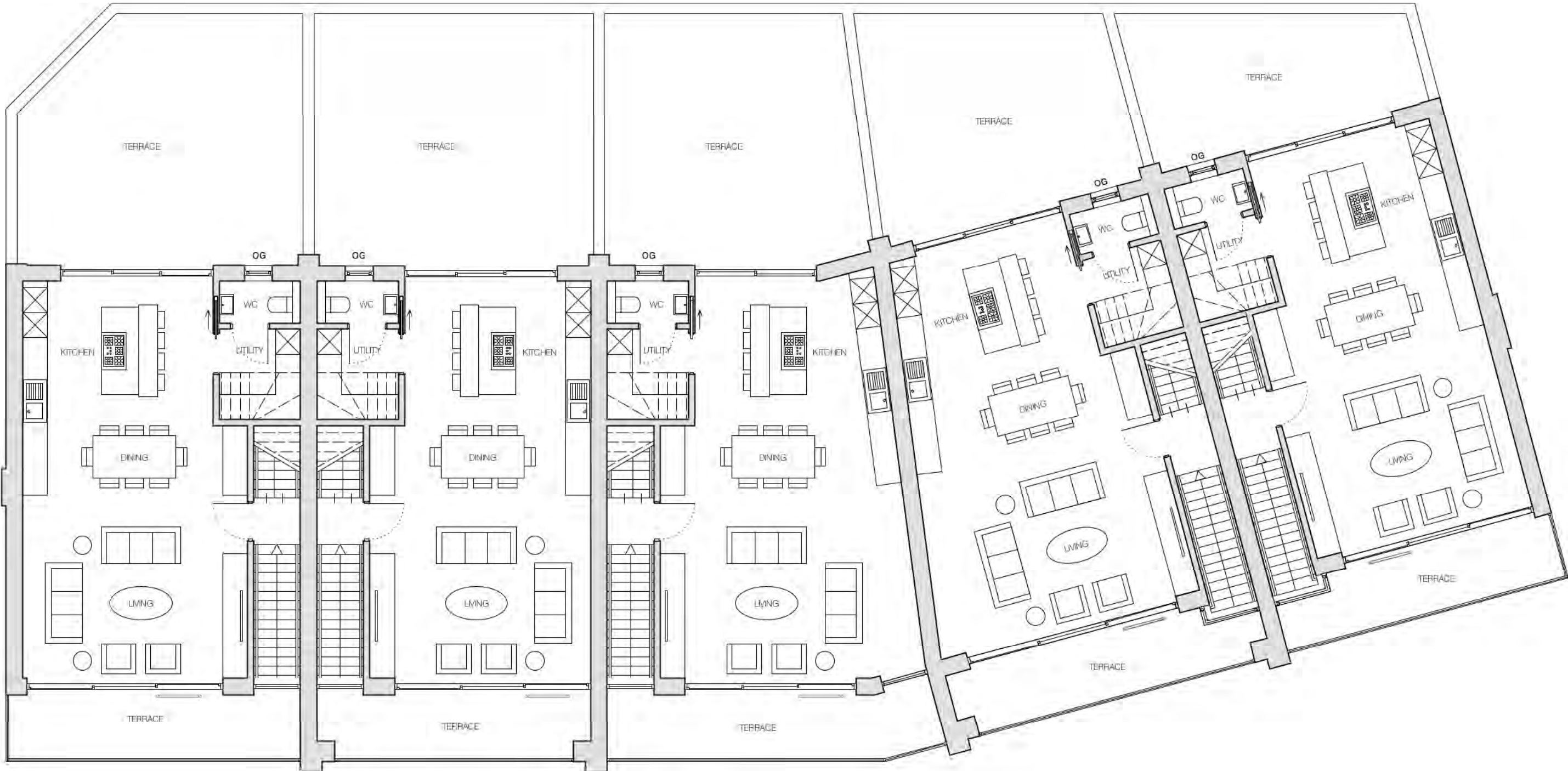
tel: 01202 755633

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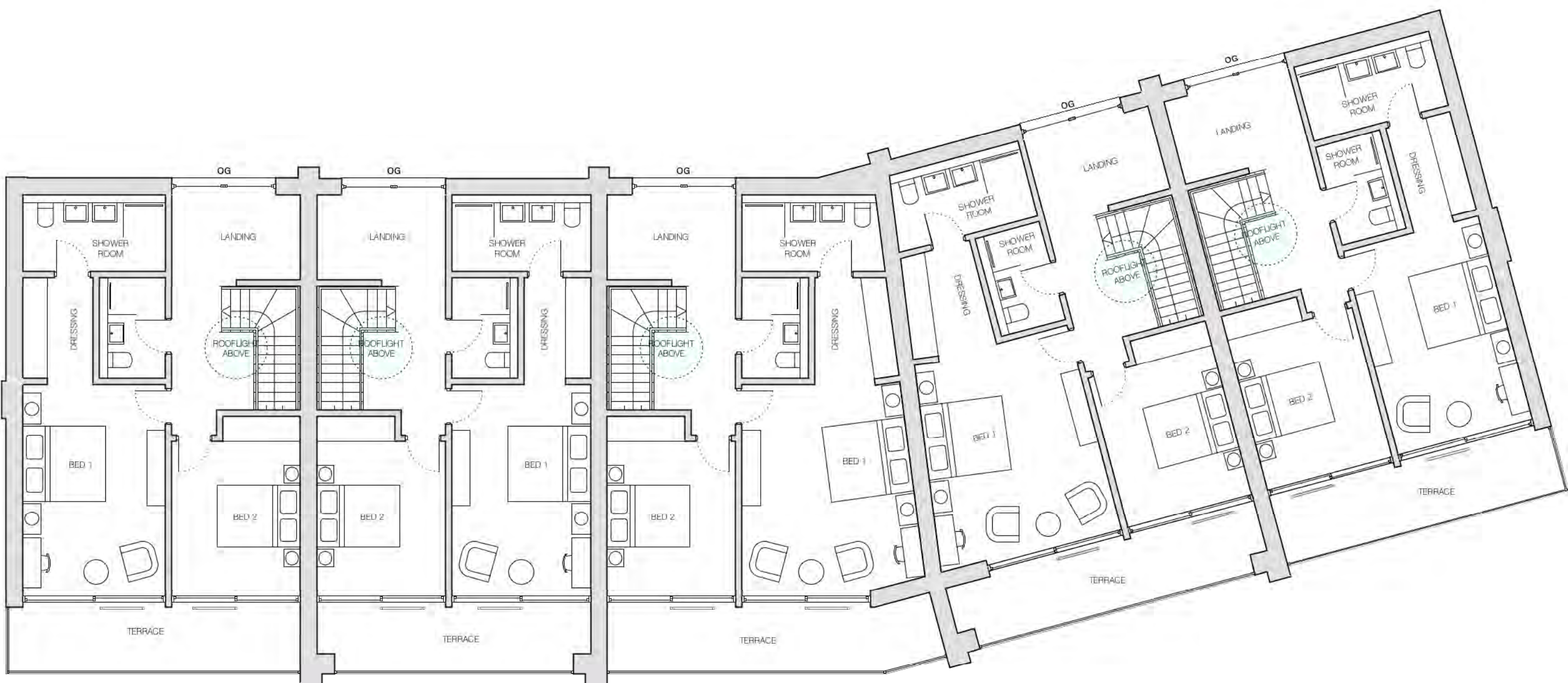




Ground Floor Plan
Scale 1:100 @A1 / 1:200 @ A3

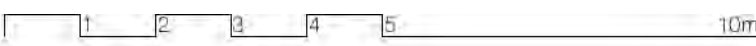


First Floor Plan
Scale 1:100 @A1 / 1:200 @ A3



Second Floor Plan
Scale 1:100 @A1 / 1:200 @ A3

BLOCK C



OG Obscure Glazing

Southbourne Cross Car Park, Southbourne

rev: REV_A_2025.02.14_Flat B10 Study omitted_ES
REV_B_2025.04.14_Wall thickness adjusted for render band_ES

Drawn By : AW Checked By : DJ

Block C - Plans | **1820 80B** | davidjames architects & partners ltd

tel: 01202 755633

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Front Elevation (South-West)
 Scale 1:100 @A1 / 1:200 @ A3



Indicative 3D View



Rear Elevation (North-East)
 Scale 1:100 @A1 / 1:200 @ A3



Indicative 3D View

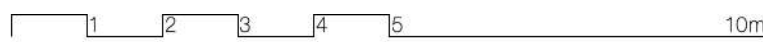


Stack bond brickwork



Stretcher bond brickwork

BLOCK C



rev: REV_A_2025.02.14_Brick pattern added to rear elevations and hedge raised_ES
 REV_B_2025.03.31_Brick pattern detail added_ES
 REV_C_2025.04.14_Render band added, living wall and plants shown_ES

Drawn By : AW Checked By : DJ

Southbourne Cross Car Park, Southbourne

Block C - Elevations | **1820 81C** | **davidjames architects & partners ltd**
 tel: 01202 755633

* Obscure Glazing

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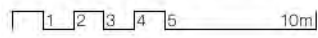




Side Elevation (South-East)
Scale 1:100 @A1 / 1:200 @ A3



Indicative Site Section (South-East)
Scale 1:250 @A1 / 1:500 @ A3



BLOCK C

Scale as shown



rev: REV_A_2025.04.14_Site section revised_ES

Southbourne Cross Car Park, Southbourne

Drawn By : AW Checked By : DJ

Block C - Elevations & Indicative Site Sections | **1820 82A** | davidjames architects & partners ltd
tel: 01202 755633

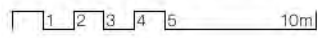
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Side Elevation (South-East)
Scale 1:100 @A1 / 1:200 @ A3



Indicative Site Section (South-East)
Scale 1:250 @A1 / 1:500 @ A3



BLOCK C

Scale as shown



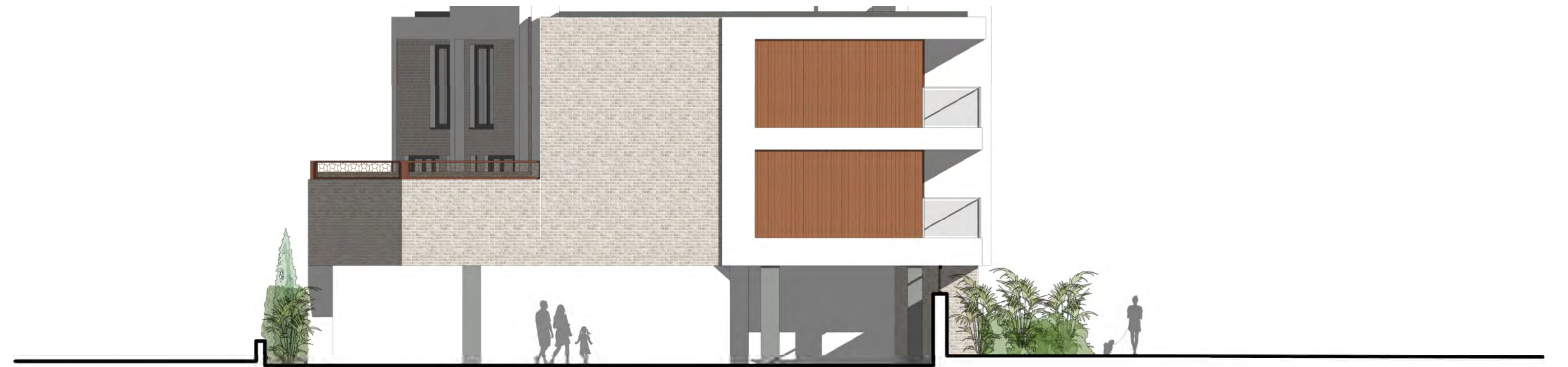
rev: REV_A_2025.04.14_Site section revised_ES

Southbourne Cross Car Park, Southbourne

Drawn By : AW Checked By : DJ

Block C - Elevations & Indicative Site Sections | **1820 82A** | davidjames architects & partners ltd
tel: 01202 755633

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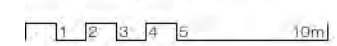
Side Elevation (North-West)

Scale 1:100 @A1 / 1:200 @ A3



Indicative Site Section (North West)

Scale 1:250 @A1 / 1:500 @ A3



BLOCK C

Scale as shown

Southbourne Cross Car Park, Southbourne

Block C - Elevations & Indicative Site Sections

1820 83A

davidjames architects & partners ltd

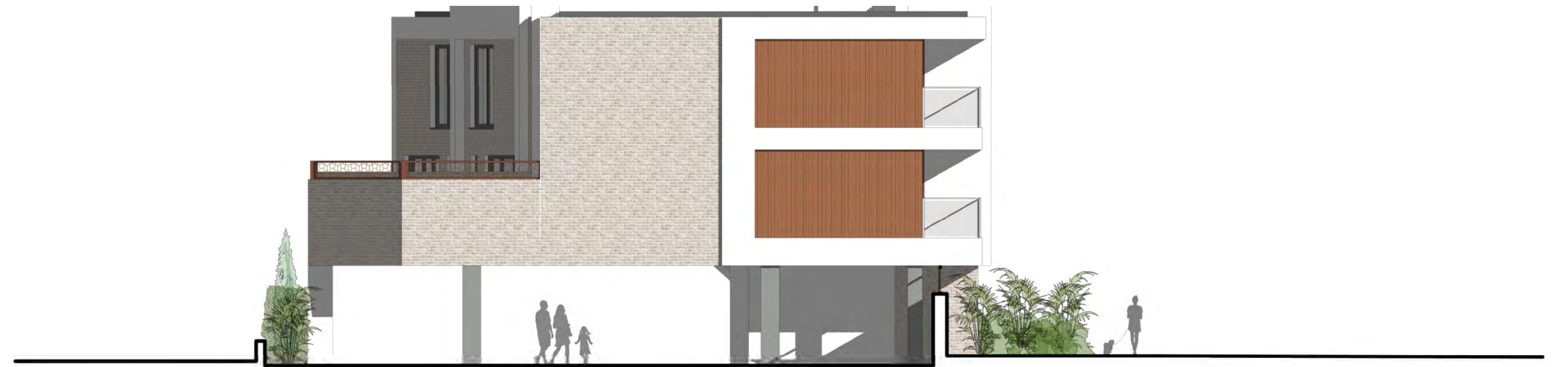
tel: 01202 755633

rev: REV_A_2025.04.14_Site section revised_ES

Drawn By : AW Checked By : DJ

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dja.



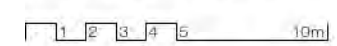
Side Elevation (North-West)

Scale 1:100 @A1 / 1:200 @ A3



Indicative Site Section (North West)

Scale 1:250 @A1 / 1:500 @ A3



BLOCK C

Scale as shown

Southbourne Cross Car Park, Southbourne

Block C - Elevations & Indicative Site Sections

1820 83A

davidjames architects & partners ltd

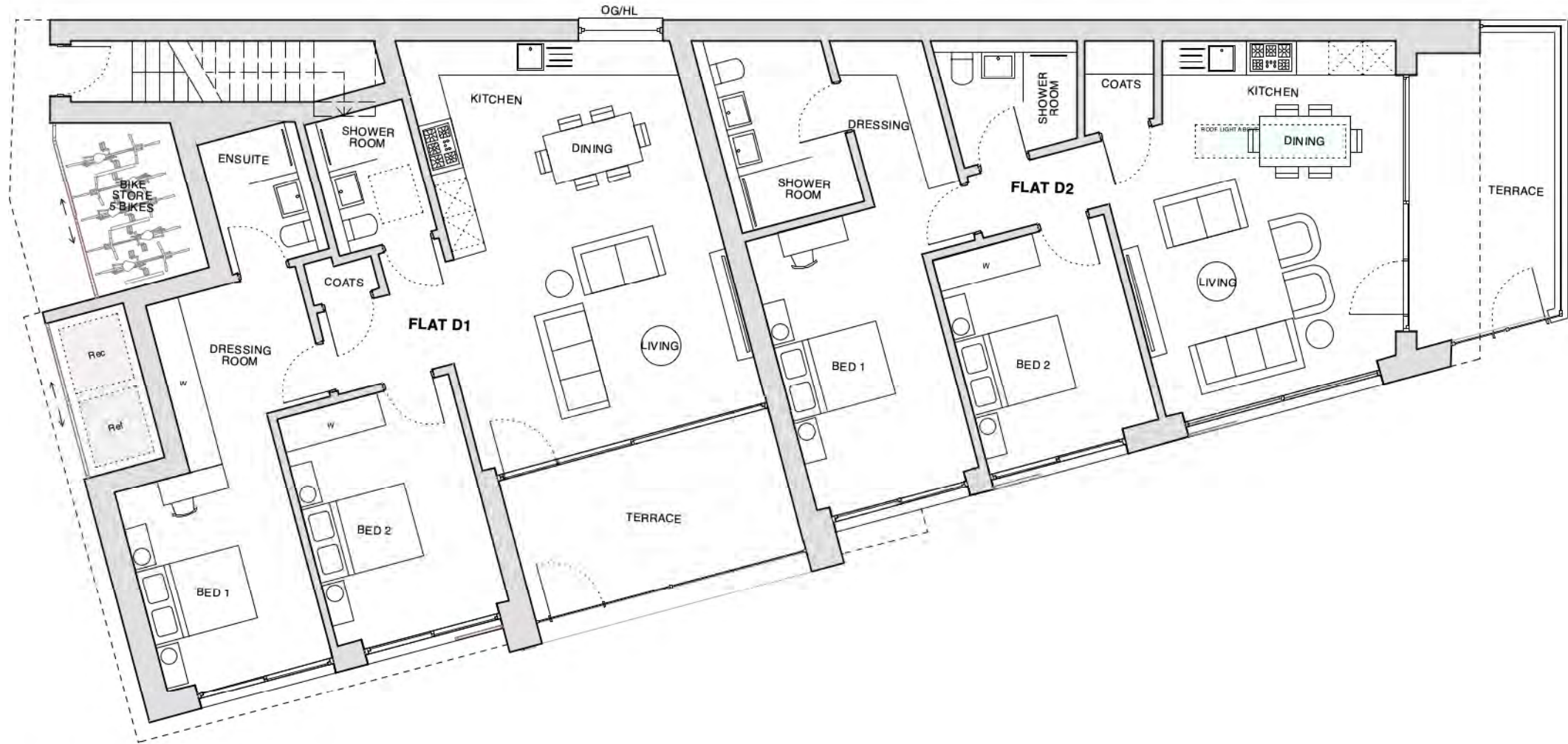
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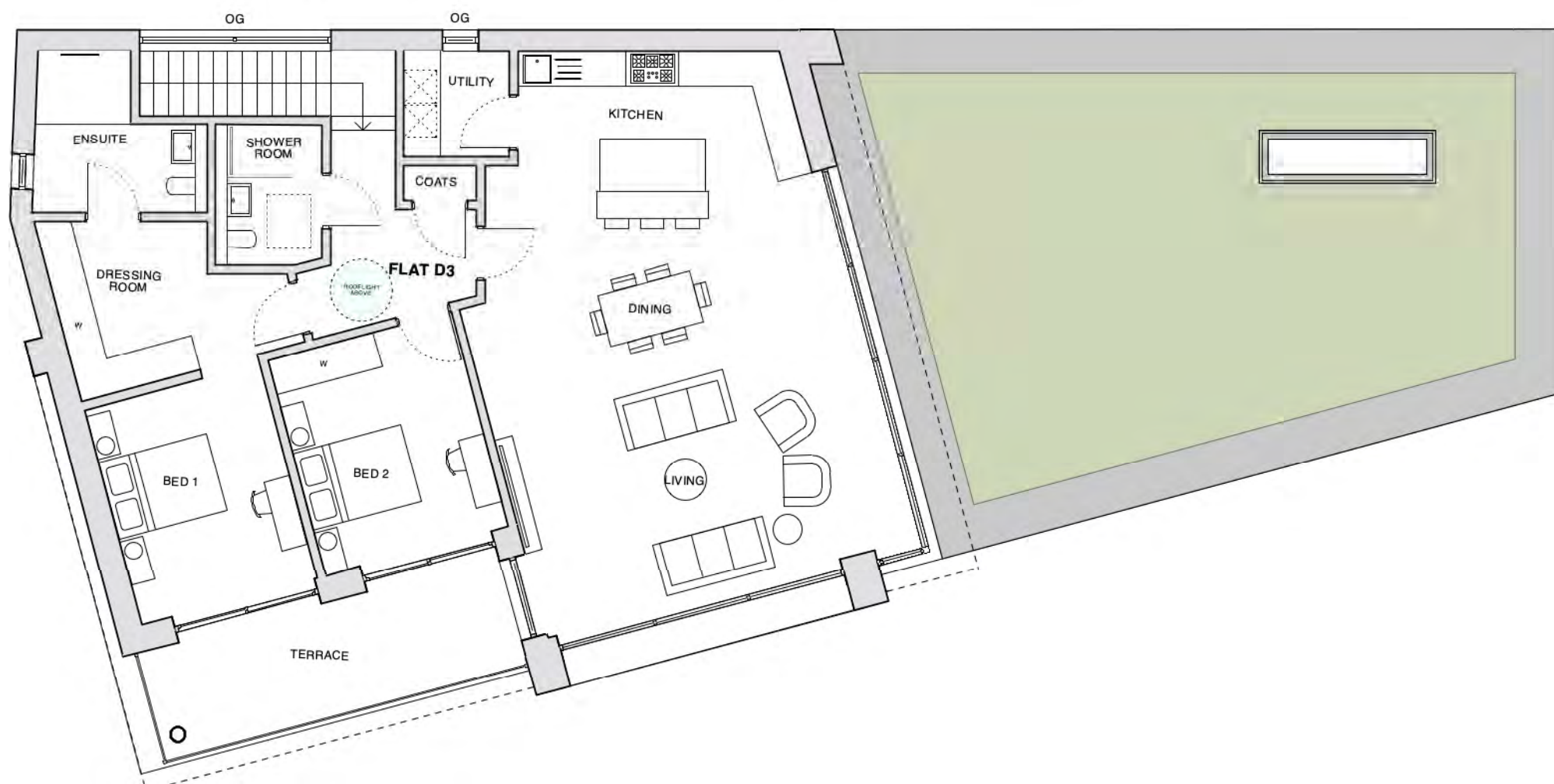
Drawn By : AW Checked By : DJ

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Ground Floor Plan
Scale 1:100 @A1 / 1:200 @ A3



First Floor Plan
Scale 1:100 @A1 / 1:200 @ A3



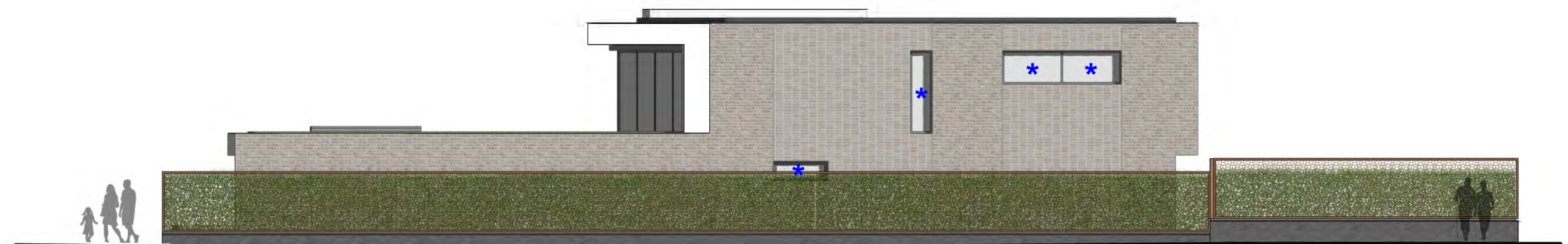
Front Elevation (South)
Scale 1:100 @A1 / 1:200 @ A3



Side Elevation (West)
Scale 1:100 @A1 / 1:200 @ A3



Side Elevation (East)
Scale 1:100 @A1 / 1:200 @ A3



Back Elevation (North)
Scale 1:100 @A1 / 1:200 @ A3



Stack bond brickwork



Stretcher bond brickwork



Indicative 3D View



Indicative 3D View

BLOCK D



- HL High Level Window
- OG Obscure Glazing
- * Obscure Glazing



rev: REV_A_2025.02.14_Brick pattern added to rear elevations hedhe raised_ES
REV_B_2025.03.31_Brick pattern detail added_ES

Drawn By : KVP Checked By : DJ

Southbourne Cross Car Park, Southbourne

Block D - Plans & Elevations | 1820 84B | davidjames architects & partners ltd

tel: 01202 755633

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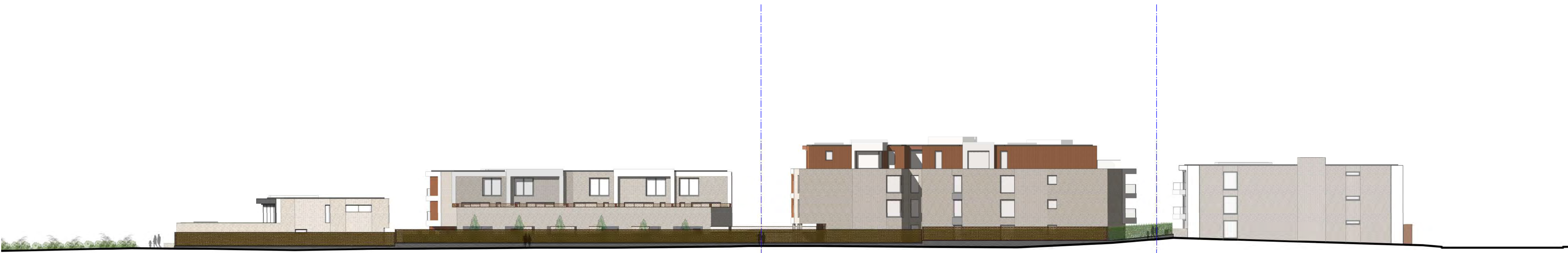


Indicative Streetscene (Southbourne Coast Road)
Scale 1:250 @A1 / 1:500 @ A3

10m

UNFOLDED STREET
ELEVATION

UNFOLDED STREET
ELEVATION

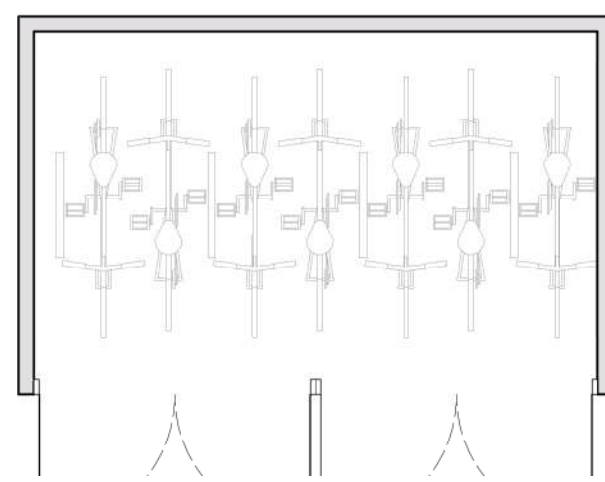


Indicative Streetscene (St. Catherines Terrace Access Road)
Scale 1:250 @A1 / 1:500 @ A3

10m

UNFOLDED STREET
ELEVATION

UNFOLDED STREET
ELEVATION



Bike Store Plans and Elevations
Scale 1:50 @A1 / 1:100 @ A3

1 2 3 4 5 10m



rev: REV_A_2025.02.14_Brick pattern added to rear elevations_ES
REV_B_2025.03.03_Brick pattern revised_ES
REV_C_2025.04.14_Living wall and plants shown_ES

Southbourne Cross Car Park, Southbourne

Street Scenes and Bike Store | **1820 85C** | davidjames architects & partners ltd
tel: 01202 755630

Drawn By : ES Checked By : DJ

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MATERIALS:



Knotwood Cladding & fascias above cladding - 100/150 & 200 boards - Bronze Rust.

TAG Alwitra (or similar approved) polyester powder coated capping/fascia. RAL to match Bronze Rust



TBS Mystique facing and stacked brick



Proprietary JUB white silicone based render finish.



Polyester powder coated and thermally broken aluminium windows and doors frames RAL 7016 with closure panel above.



TAG Alwitra (or similar approved) polyester powder coated capping. RAL 9010 white with white Rendered fascia



1300mm high Frameless Glass Balustrade



Framed screens - RAL to match Bronze Rust



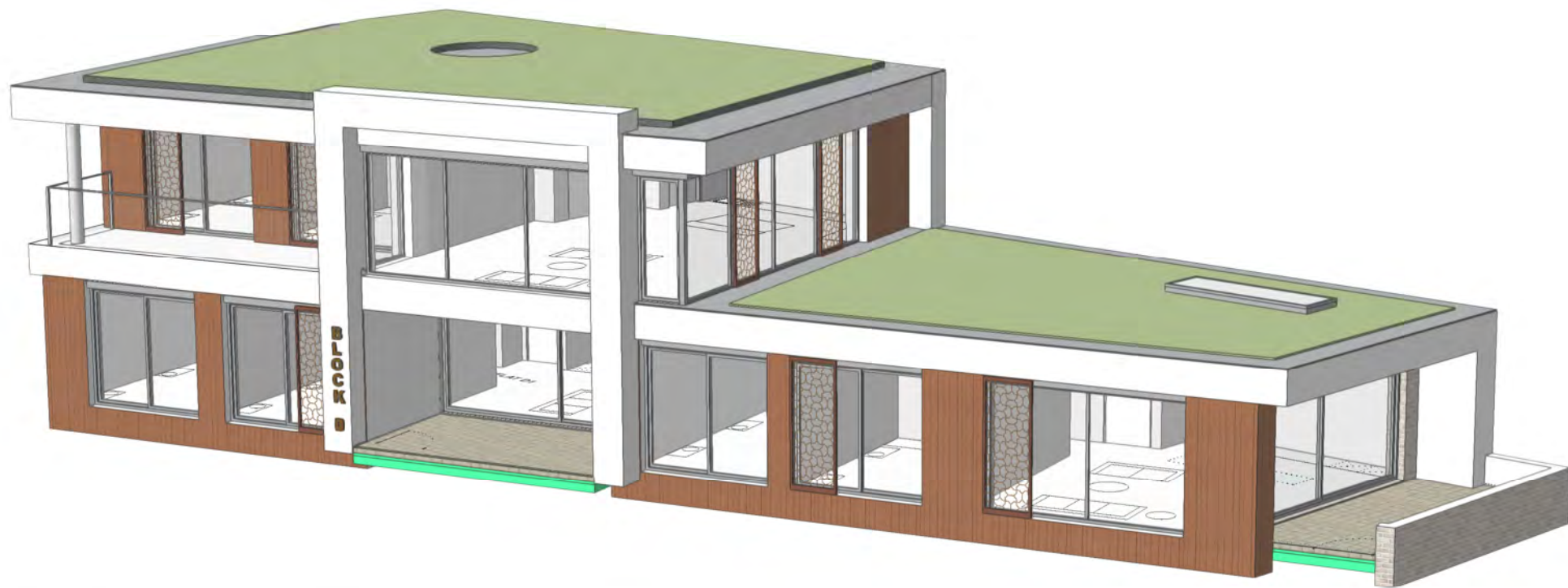
Block A-Indicative 3D View



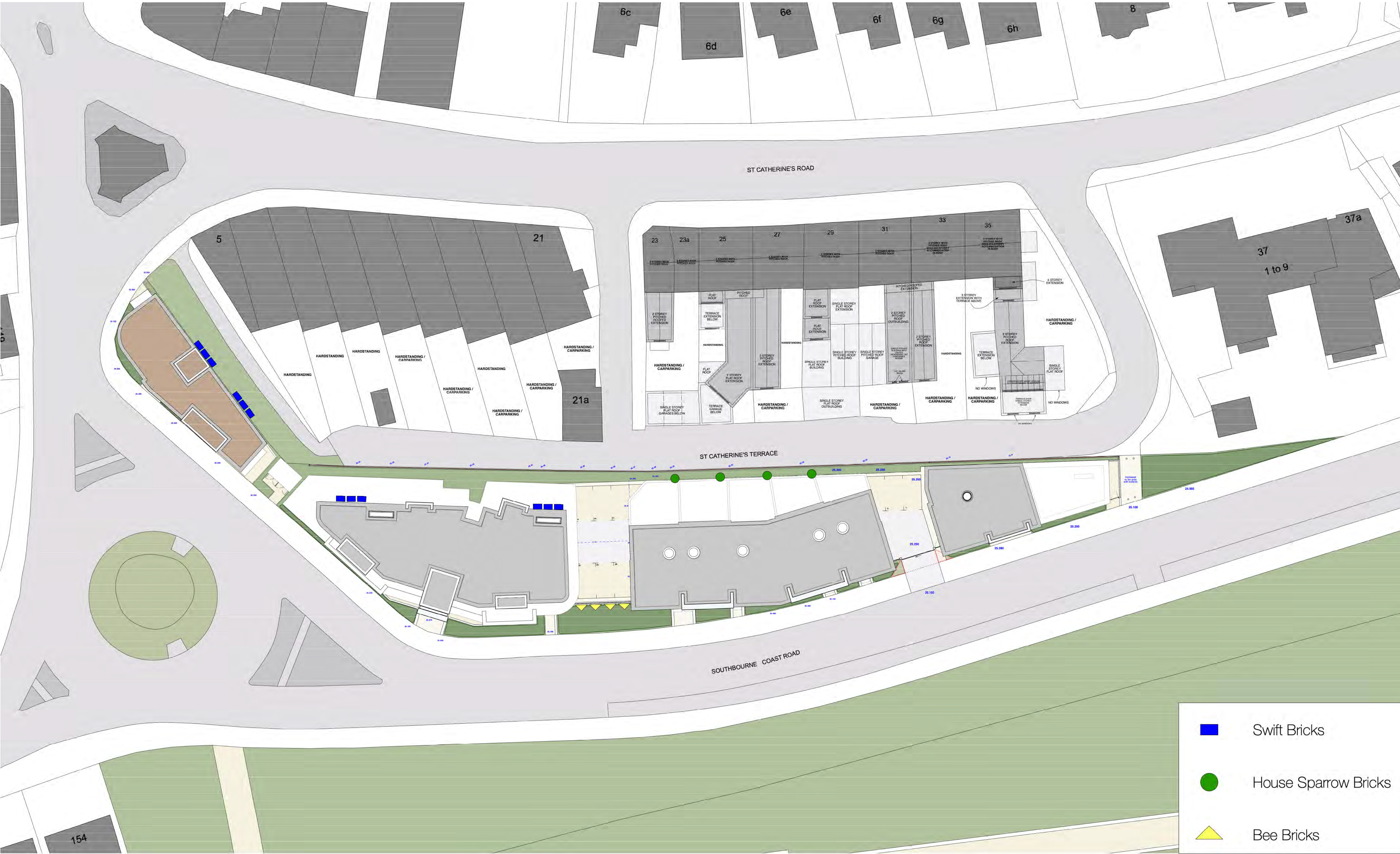
Block B-Indicative 3D View



Block C-Indicative 3D View



Block D-Indicative 3D View



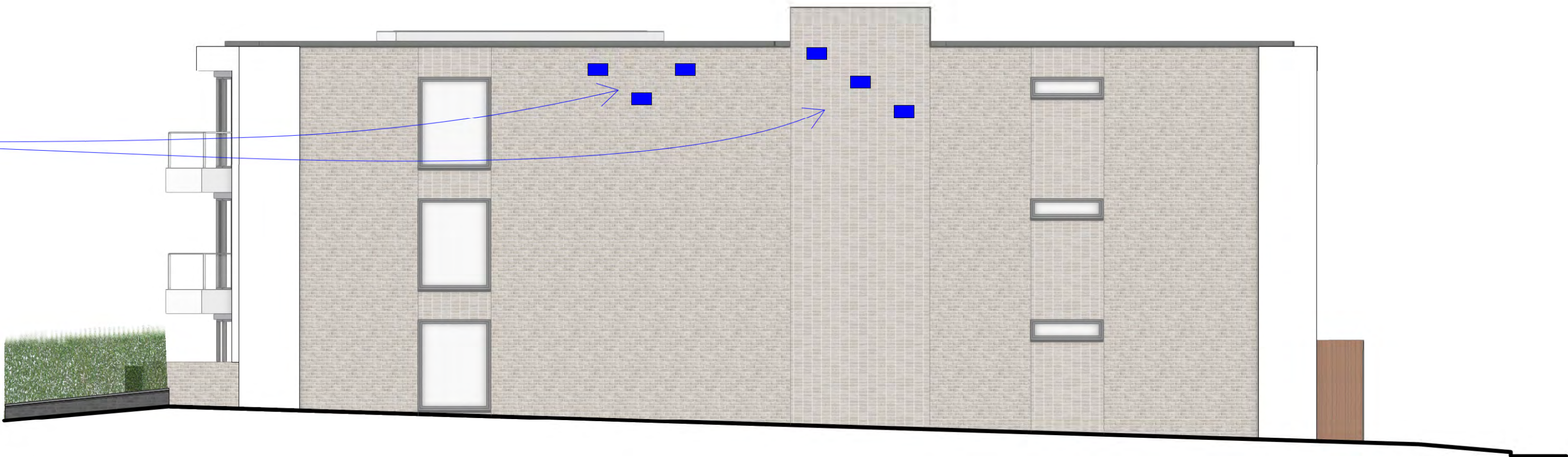
Site Plan
Scale 1:250 @A1 / 1:500 @ A3

BLOCK A



Block A indicative 3D View - Front Elevation
NTS

Swift Bricks



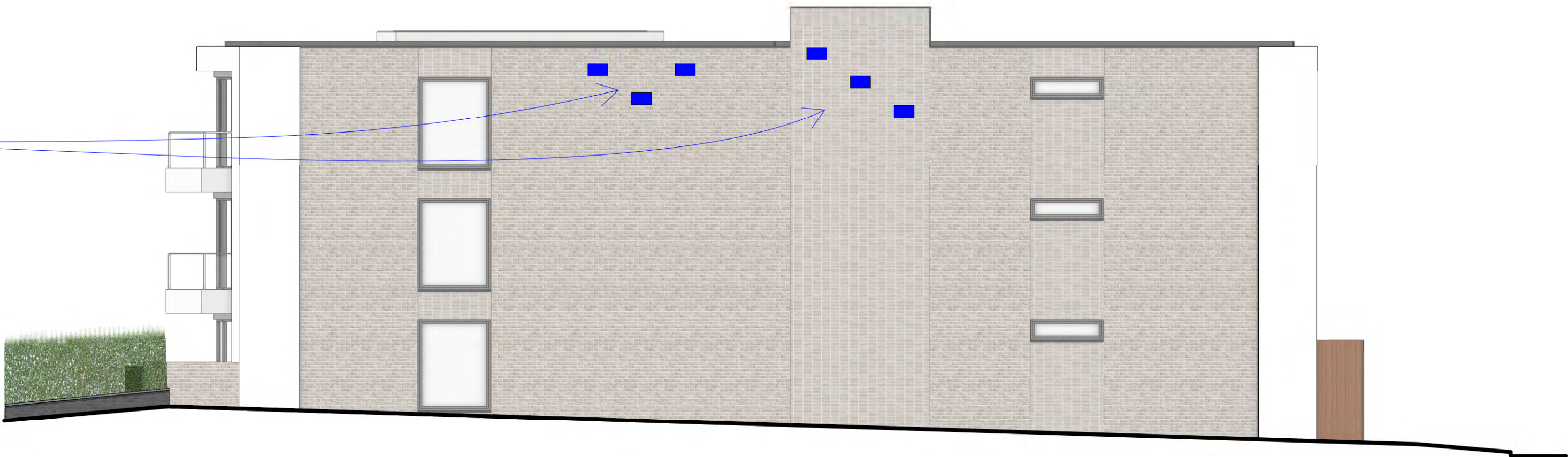
Block A - Rear Elevation (East)
Scale 1:100 @A1 / 1:200 @ A3

BLOCK A



Block A indicative 3D View - Front Elevation
NTS

Swift Bricks



Block A - Rear Elevation (East)
Scale 1:100 @A1 / 1:200 @ A3

BLOCK B

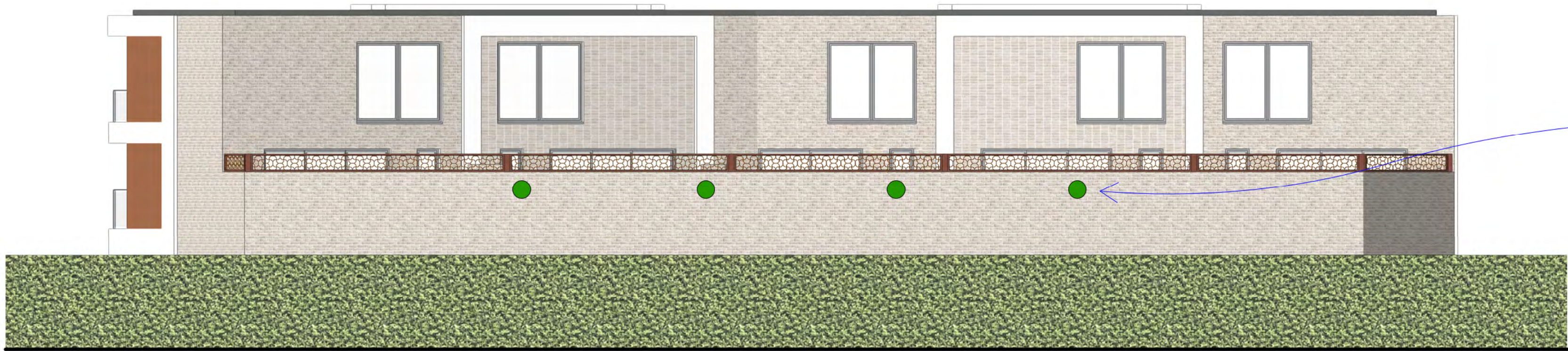


Swift Bricks



Block B - Rear Elevation (South / North-East)
Scale 1:100 @A1 / 1:200 @ A3

BLOCK C



House Sparrow Bricks



Block C - Rear Elevation (North-East)
Scale 1:100 @A1 / 1:200 @ A3



BLOCK C



Solar Panels laid flat on stub legs/rail system



Brown Roof Area : 166.5 sqm



Part Site Plan Scale 1:200



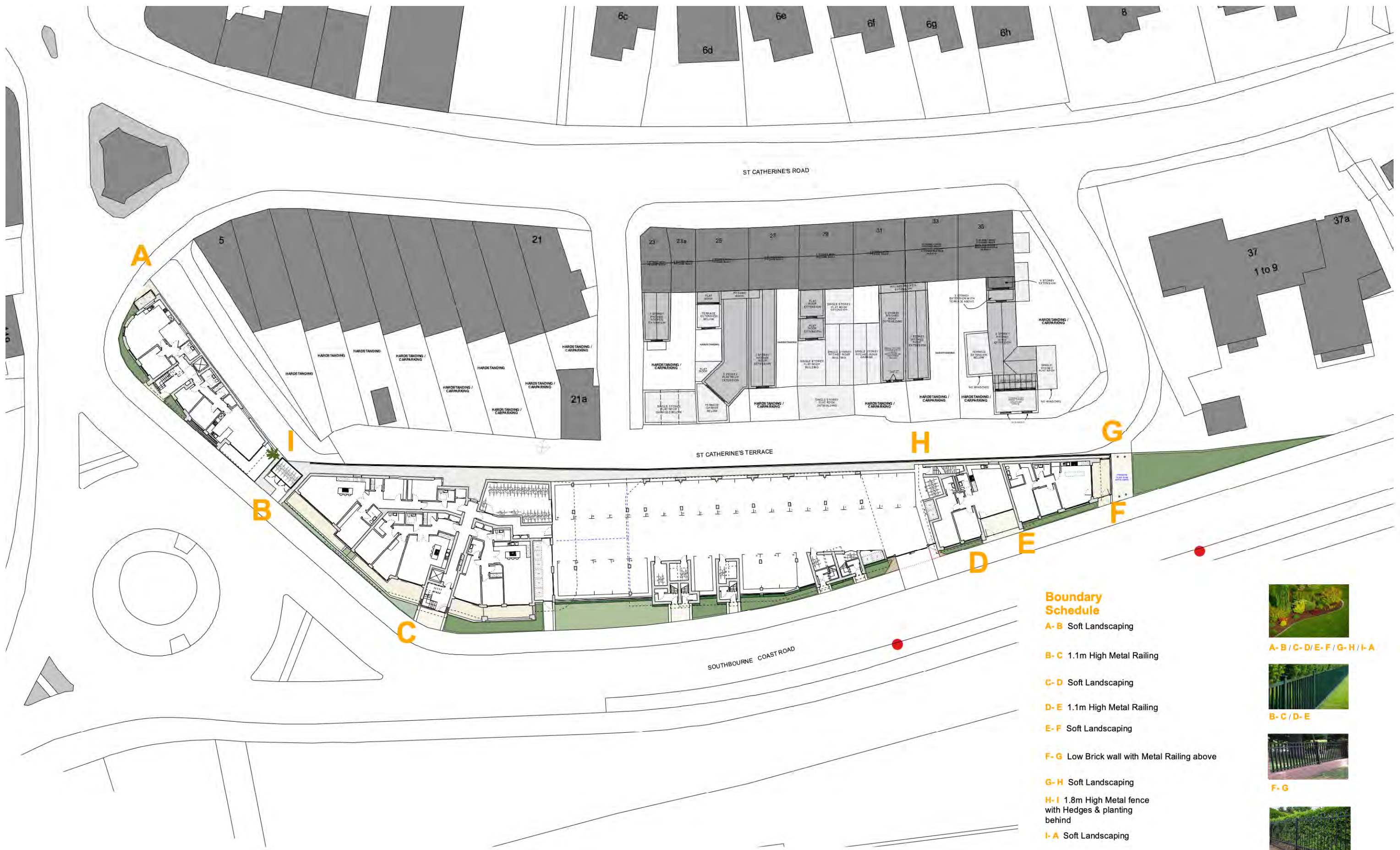
Living Wall Area : 80 sqm



49m

LIVING WALL AS PER CHERRY TREE ECOLOGY Ltd. SPECIFICATION

Part Street Scene Scale 1:100



Boundary Schedule

- A-B** Soft Landscaping
- B-C** 1.1m High Metal Railing
- C-D** Soft Landscaping
- D-E** 1.1m High Metal Railing
- E-F** Soft Landscaping
- F-G** Low Brick wall with Metal Railing above
- G-H** Soft Landscaping
- H-I** 1.8m High Metal fence with Hedges & planting behind
- I-A** Soft Landscaping



A-B / C-D / E-F / G-H / I-A



B-C / D-E



F-G



H-I

Site Plan
Scale 1:250 @A1 / 1:500 @ A3

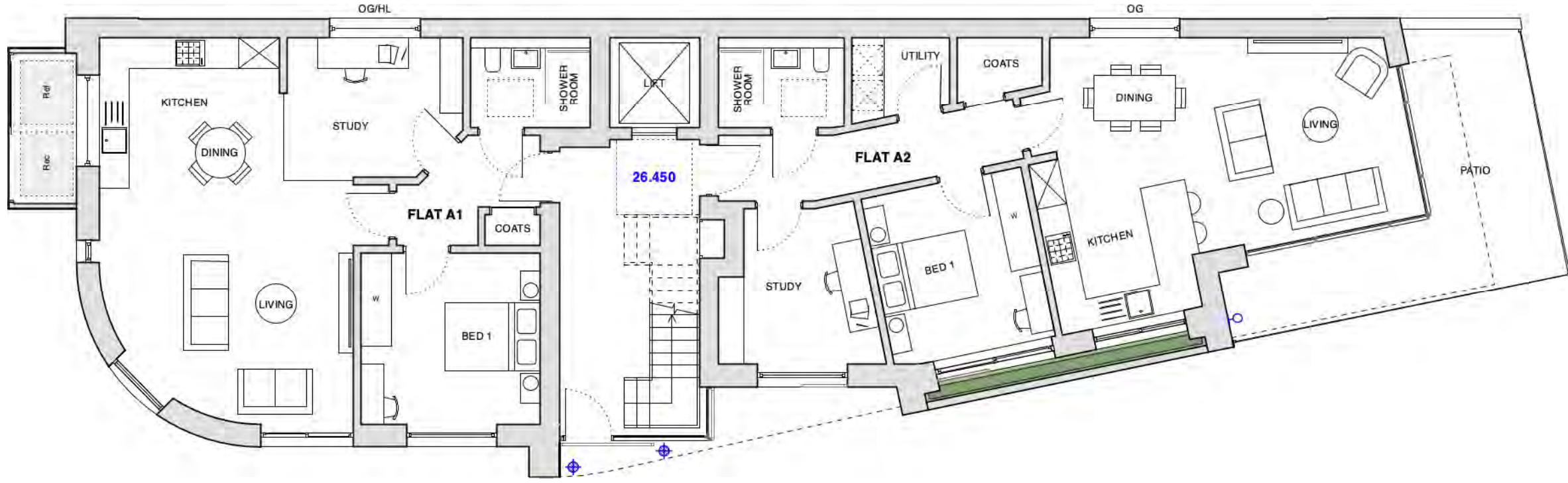


rev:
Drawn By : MS Checked By : DJ

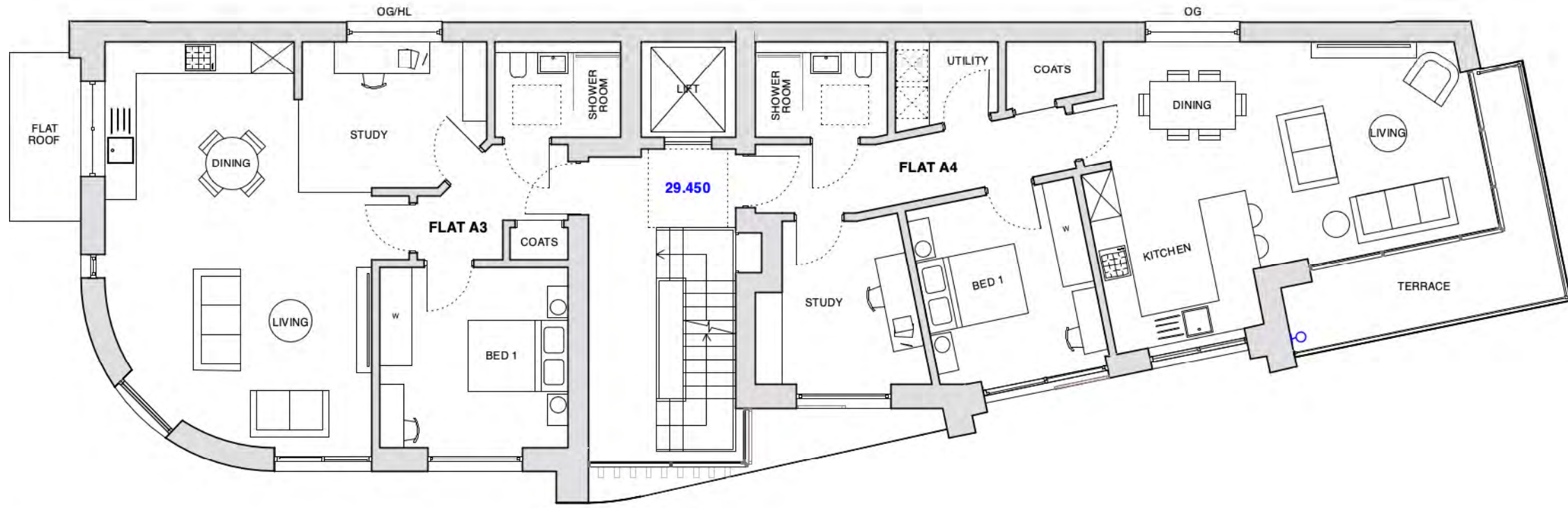
Southbourne Cross Car Park, Southbourne

Discharge of Condition 8 | **1820 DOC 8C** | davidjames architects & partners ltd
tel: 01202 755633

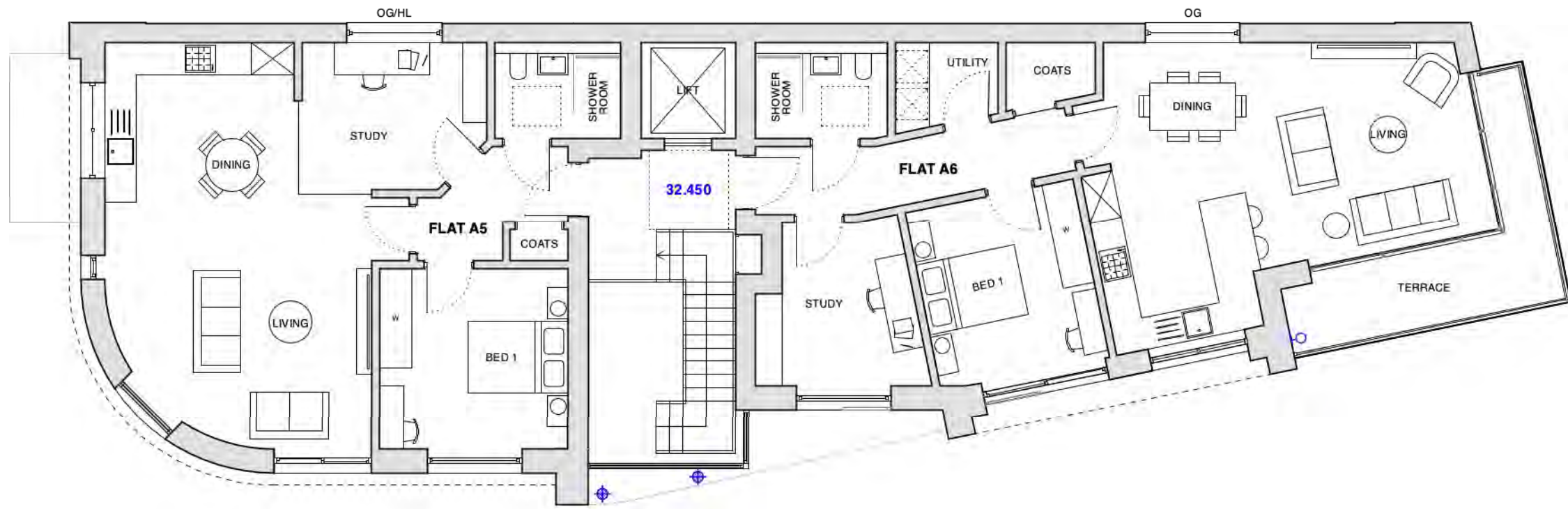
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Ground Floor Plan
Scale 1:100 @A1 / 1:200 @ A3



First Floor Plan
Scale 1:100 @A1 / 1:200 @ A3



Second Floor Plan
Scale 1:100 @A1 / 1:200 @ A3



Front Elevation (West)
Scale 1:100 @A1 / 1:200 @ A3

LEGEND	
	External wall light wall fitting
	Exterior Downlight
	External Down light Elevation

OG Obscure Glazing
HL High Level Window

BLOCK A



Southbourne Cross Car Park, Southbourne

Block A - Plans & Elevations | **1820 01 Condition 8D** | davidjames architects & partners ltd
tel: 01202 755633

rev:

Drawn By : MS Checked By : DJ

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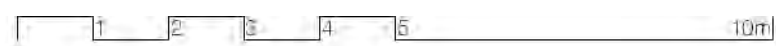
Front Elevation (South / South-West)
Scale 1:100 @A1 / 1:200 @ A3



Rear Elevation (South / North-East)
Scale 1:100 @A1 / 1:200 @ A3

LEGEND	
	External wall light wall fitting
	Exterior Downlight
	External Down light Elevation

Obscure Glazing



rev:

Southbourne Cross Car Park, Southbourne

Block B - Elevations | **1820 02 Condition 8D** | davidjames architects & partners ltd

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Front Elevation (South-West)
Scale 1:100 @A1 / 1:200 @ A3

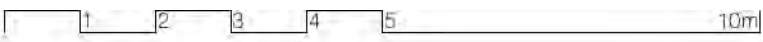


Rear Elevation (North-East)
Scale 1:100 @A1 / 1:200 @ A3

LEGEND	
	External wall light wall fitting
	Exterior Downlight
	External Down light Elevation

* Obscure Glazing

BLOCK C



rev:

Southbourne Cross Car Park, Southbourne

Block C - Elevations | **1820 03 Condition 8D** | davidjames architects & partners ltd
tel: 01202 755633

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Front Elevation (South-West)
Scale 1:100 @A1 / 1:200 @ A3

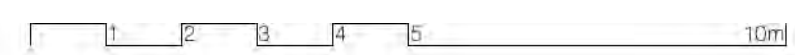


Rear Elevation (North-East)
Scale 1:100 @A1 / 1:200 @ A3

LEGEND	
	External wall light wall fitting
	Exterior Downlight
	External Down light Elevation

* Obscure Glazing

BLOCK C



rev:

Southbourne Cross Car Park, Southbourne

Block C - Elevations

1820 03 Condition 8D

davidjames architects & partners ltd

tel: 01202 755633

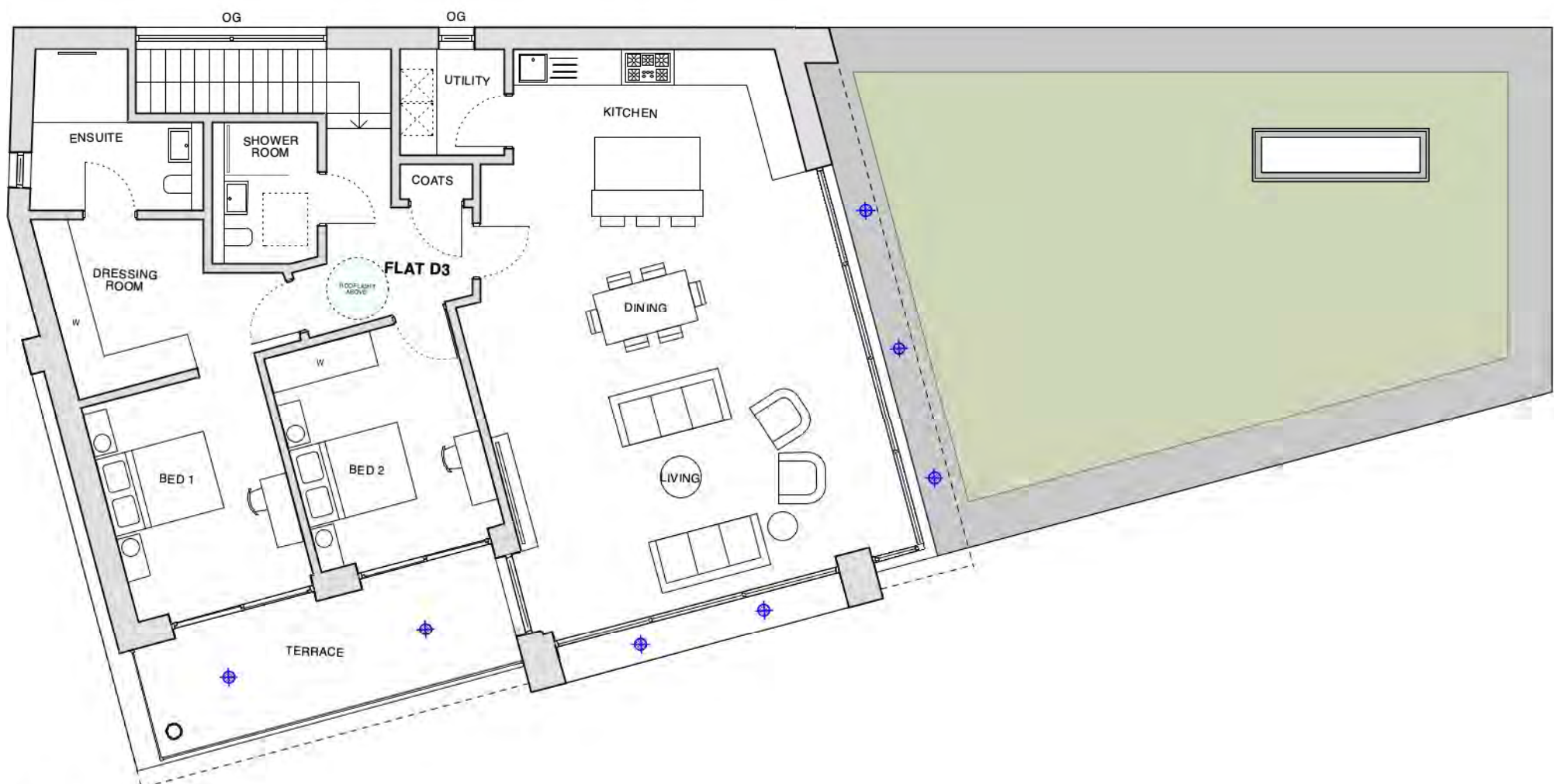
Drawn By : MS Checked By : DJ

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Ground Floor Plan
Scale 1:100 @A1 / 1:200 @ A3



First Floor Plan
Scale 1:100 @A1 / 1:200 @ A3



Front Elevation (South)
Scale 1:100 @A1 / 1:200 @ A3



Side Elevation (West)
Scale 1:100 @A1 / 1:200 @ A3

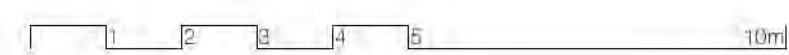


Side Elevation (East)
Scale 1:100 @A1 / 1:200 @ A3

LEGEND	
	External wall light wall fitting
	Exterior Downlight
	External Down light Elevation

HL High Level Window
OG Obscure Glazing
* Obscure Glazing

BLOCK D



Southbourne Cross Car Park, Southbourne

Block D - Plans & Elevations | **1820 04 Condition 8D** | davidjames architects & partners ltd

tel: 01202 755633

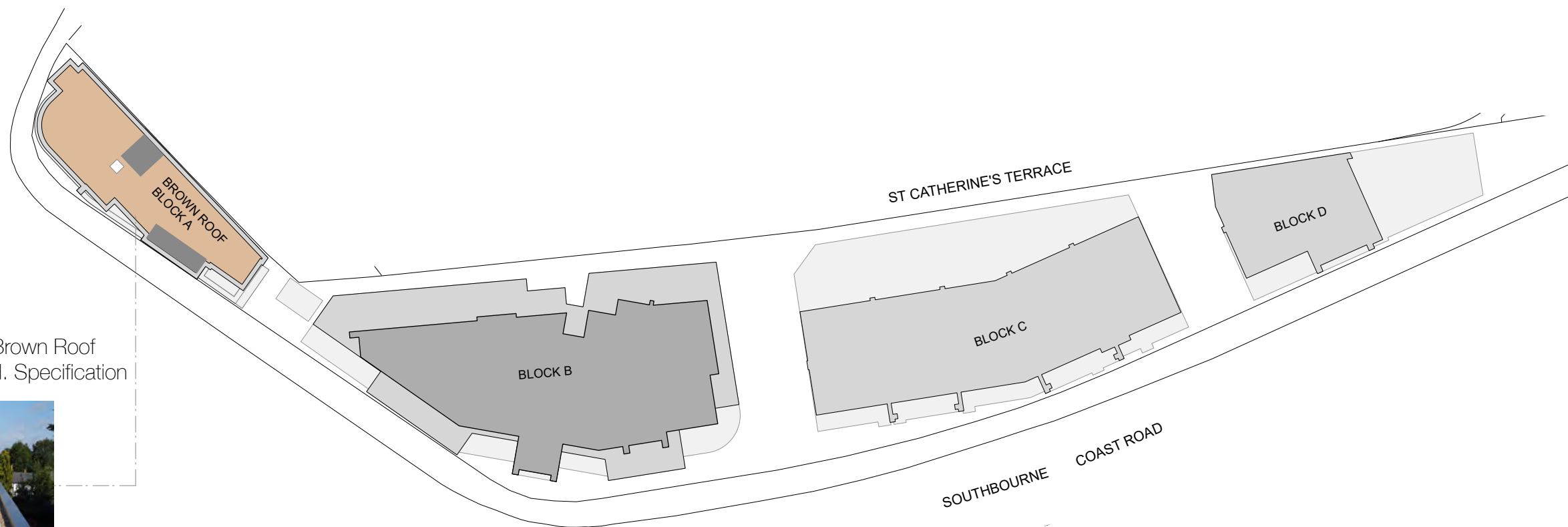
rev:

Drawn By : MS Checked By : DJ

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Typical Example of a Brown Roof
as per Cherry Tree Ltd. Specification



Part Site Plan
Scale 1:500

Typical Example of a Living Wall
as per Cherry Tree Ltd. Specification



Part Street Scene
Scale 1:200

LIVING WALL AS PER CHERRY TREE ECOLOGY Ltd. SPECIFICATION

Southbourne Cross Car Park, Southbourne

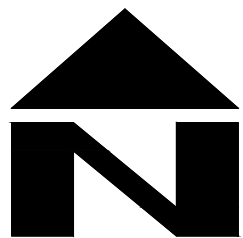
Ecology | 1820 93 | davidjames architects & partners ltd

tel: 01202 755633

rev:

Drawn By : MS Checked By : DJ

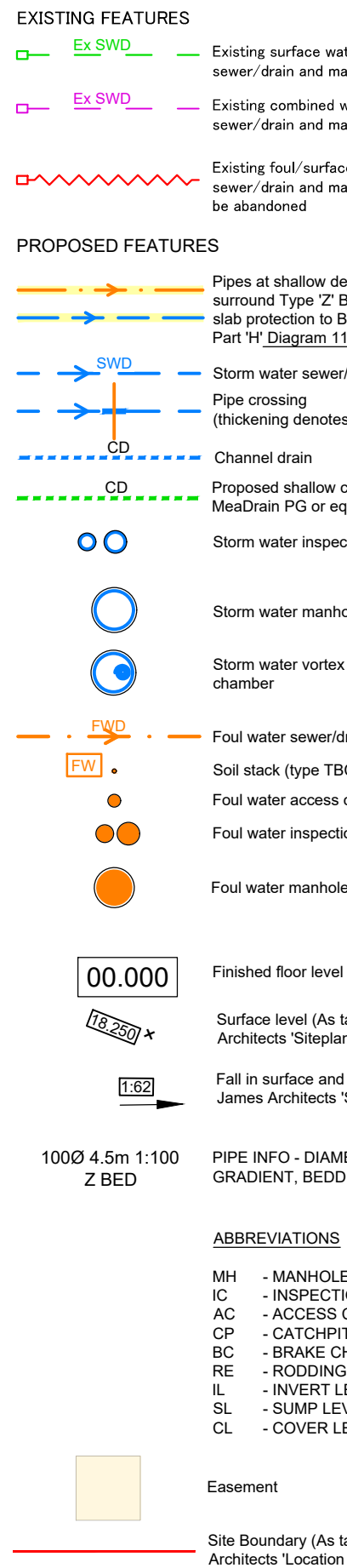
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DESIGN SUBJECT TO THE APPROVAL OF:
PLANNING AUTHORITY
BUILDING CONTROL
WESSEX WATER

DESIGN SUBJECT TO THE CONFIRMATION OF:
FW STACK AND RWP DOWNPIPES POSITIONS
TO BE CONFIRMED BY ARCHITECT
FOUNDATION DESIGN BY STRUCTURAL
ENGINEER

DRAINAGE LEGEND (1:200)



STANDARD DRAINAGE NOTES

- DO NOT SCALE FROM THIS DRAWING. REFER TO FIGURED DIMENSIONS ONLY. THE CONTRACTOR SHOULD CHECK ALL DIMENSIONS ON SITE.
- ALL DIMENSIONS IN MILLIMETRES AND ALL LEVELS ARE IN METERS UNLESS NOTED OTHERWISE.
- THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECT AND ENGINEERING DETAILS, DRAWINGS AND SPECIFICATIONS.
- ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT AND/OR ENGINEER IMMEDIATELY, SO THAT CLARIFICATION CAN BE SOUGHT PRIOR TO THE COMMENCEMENT OF WORK.
- BEFORE COMMENCING CONSTRUCTION THE CONTRACTOR MUST CHECK THE INVERT LEVELS OF EXISTING SEWERS TO WHICH CONNECTIONS ARE MADE. IN ADDITION THE CONTRACTOR MUST LOCATE AND DETERMINE INVERT LEVELS OF THE EXISTING SPURS TO WHICH CONNECTIONS ARE PROPOSED. ANY DISCREPANCIES ARE TO BE NOTIFIED TO THE ENGINEER IMMEDIATELY, PRIOR TO CONSTRUCTION.
- ALL DRAINAGE WORKS SHOULD COMMENCE AT THE PROPOSED DOWNSTREAM CONNECTION POINT, THE WORKS CONTINUING UPSTREAM FOLLOWING CONFIRMATION OF THE TIE-IN INVERT LEVELS TO THE ENGINEER. CONNECTIONS TO MANHOLES OR LARGER SIZED PIPES ETC. SHOULD BE SOFT TO SOFT, UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER, IF THIS IS NOT POSSIBLE INFORM THE ENGINEER IMMEDIATELY.
- COVER LEVELS SHOWN ARE APPROXIMATE. COVERS AND FRAMES SHALL BE SET TO FINISHED GROUND LEVELS AND FALLS.
- ALL UN-REFERENCED PIPES ARE TO BE 100mm DIA
- ALL PIPES TO BE ADOPTED, OR CONNECTING TO ADOPTED SEWERS, TO BE VITRIFIED CLAY TO BS EN 295 AND BS85 (SWS ONLY), OR CONCRETE PIPES TO BE EN 1916 AND BS5911 PART 1.
- ROAD GULLY OUTLET PIPES ARE TO BE 150mm DIA, WITH CONCRETE SURROUND AND FLEXIBLE JOINTS. ALL GULLIES SHALL BE FITTED WITH GRADE D400 GRATINGS AND FRAMES TO BS EN124, UNLESS OTHERWISE STATED.
- ALL ADAPTABLE SEWERS SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATION LAID DOWN IN 'SEWERS FOR ADOPTION' 6th EDITION, WITH A VIEW TO ADOPTION UPON COMPLETION OF WORKS.
- ALL PRIVATE DRAINAGE TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS APPROVED DOCUMENT PART-H, AND TO THE SATISFACTION OF THE BUILDING CONTROL INSPECTOR.
- THE CONTRACTOR IS TO KEEP A RECORD OF ANY VARIATIONS MADE ON SITE, INCLUDING THE RELOCATION OF SEWERS OR DRAINS, SO THAT AN AS CONSTRUCTED DRAWING CAN BE PREPARED UPON COMPLETION OF THE PROJECT.
- STUB CONNECTIONS TO ADAPTABLE MANHOLES SHALL BE MADE FROM VITRIFIED CLAY AND CONSIST OF TWO ROCKER PIPES LAID AT THE SAME GRADIENT AS THE UP OR DOWNSTREAM PIPE.
- IF ANY SUB SOIL DRAINAGE SYSTEMS ARE UNCOVERED DURING THE WORKS CONTACT THE ENGINEER FOR INSTRUCTIONS. SUB SOIL DRAINS ARE TO BE DIVERTED AROUND NEW WORKS AND CONNECTED INTO THE SURFACE WATER.
- NO PRIVATE AREAS ARE TO DRAIN ONTO ADOPTABLE AREAS AND VICE VERSA.
- ALL EXISTING MANHOLE COVERS, GULLIES, ETC. ARE TO BE RAISED/LOWERED TO SUIT NEW LEVELS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE LOCATION AND DEPTH OF ALL EXISTING SERVICES AND UTILITIES THAT MAY BE PRESENT
- UPON COMPLETION BUT PRIOR TO HANDOVER, CONTRACTOR TO CARRY OUT FULL CCTV SURVEY OF DRAINAGE SYSTEM WHICH IS TO BE REVIEWED BY ENGINEER TO ENSURE SATISFACTORY INSTALLATION
- TECHNICAL, INSTALLATION AND MAINTENANCE INFORMATION FOR ANY THIRD PARTY PROPRIETARY SYSTEMS TO BE OBTAINED FROM THE MANUFACTURERS BY THE CONTRACTOR AND SUBMITTED TO ENGINEER FOR APPROVAL.
- MANHOLE AND CHAMBER COVER GRADES:

- 'A15' IN ALL LANDSCAPED AREAS AND ON FOOTPATHS
- 'B125' IN ALL DRIVEWAYS
- 'C250' IN PRIVATE PARKING AREAS
- 'D400' IN CARRIAGEWAY/ACCESS ROAD

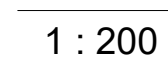
Prefix to drawing numbers shall signify the following:-

PL = PLANNING	Shall not be used for contract or construction purposes
P = PRELIMINARY	Shall not be used for contract or construction purposes
T = TENDER	Shall not be used for construction purposes
C = CONSTRUCTION	These are the only drawings that shall be used for construction purposes
R = RECORD	Record of actual completed work

P4	13.03.25	REVISED TO SUIT NEW SITE PLAN AND LFA COMMENTS	TZ	CS	CS
P3	07.01.25	REVISED DIVERTED SEWER TO SUIT COMMENTS	LH	CS	CS
P2	29.07.22	REVISED TO SUIT NEW SITE PLAN	LH	CS	CS
P1	09.07.21	REVISED TO SUIT BCP COMMENTS	LH	CS	CS
P-	27.01.21	PRELIMINARY ISSUE	LH	CS	CS
REV	DATE	DESCRIPTION	BY	CHK	APP

cgs civils Consulting Civil Engineers					
CLIENT	VIVIR PROPERTIES				
ARCHITECT	DAVID JAMES ARCHITECTS				
JOB TITLE	SOUTHBOURNE CROSS CAR PARK SOUTHBOURNE, BOURNEMOUTH				
DRAWING TITLE	DRAINAGE LAYOUT				
DRAWN	LH	ENGINEER	C SLADE	CHECKED	CS
DATE	JANUARY 2021	SCALE @ A1	1:200		
JOB No.	C1539	STATUS	P	DRAWING No.	101
REV.					P4

PRELIMINARY



- AREAS REQUIRING GROUND IMPROVEMENT
 - INDICATES SLAB REACTION = 10kN/m²
 - INDICATES SLAB REACTION = 12.5kN/m²
- AREAS NOT REQUIRING GROUND IMPROVEMENT
 - INDICATES RAFT SLAB

PAD/STRIP FOUNDATIONS
SIZE SHOWN INDICATIVELY
PENDING DETAIL DESIGN

P1	PRELIMINARY ISSUE FOR INFORMATION/PRICING	LSC	04/09/24
REV	DESCRIPTION	BY	DATE

PRELIMINARY

CLIENT NAME:

VIVIR PROPERTIES Ltd.

SITE:

SOUTHBOURNE CROSS
CAR PARK

TITLE:

FOUNDATION STRATEGY

SCALE AT A1: As indicated	DATE: Sept'24	DRAWN: LSC	CHECKED: MM
DRAWING NO: 0000 TEC V0 00 DR S 0100 Client Proj no. Originator Volume Level Type Role Number			REVISION: P1

EXISTING FEATURES

VEGETATION TO BE RETAINED

SPOT HEIGHT

PROPOSED FEATURES

ORNAMENTAL SHRUBS

CLIMBING PLANT (see Notes)

ACCENT/SPECIMEN PLANT

HEDGE

1.2m HIGH METAL RAILINGS

TIMBER SEAT

TARMAC (to Engineers specification)

CONCRETE SLAB PAVING (Marshalls Saxon, 450x450mm, buff colour)

STONE SETTS (100 x 100mm, light grey colour)

GRAVEL (6-10mm, buff colour chippings 30mm deep on 100mm Type 1

sub-base on terram 1000 membrane, with timber edge)

ROUNDED COBBLES (nom. 70-150mm dia)

CONCRETE KERB (Brett Paving Meltone 125mm textured kerb)

COMPOSITE DECKING

DROP KERB

BOULDERS - (Gneiss glacial, min 500 x max 1200mm in any dimension)

GROUND MODELLING

450mm HIGH TIMBER KNEE RAIL

WALL (to Architects details)

LIVING WALL (Supplier Scotscape Ltd. Refer to drawing 2356/3

for details)

PLANT SCHEDULE

Number	Abbreviation	Species	Specification	Density
15	AUCJ3	Aucuba japonica 'Crotonifolia'	3l C.G bushy	5/m ²
15	CIR3	Ceanothus thyrsifolius 'Repens'	3l C.G bushy	4/m ²
23	CIS3	Cistus 'Silver Pink'	3l C.G bushy	4/m ²
34	CIC3	Cistus x corbariensis	3l C.G bushy	4/m ²
10	CIP2	Cistus x purpureus	3l C.G bushy	4/m ²
81	CORGL3	Coronilla glauca	3l C.G 30-40cm high bushy	4/m ²
33	COTONF3	Cotoneaster 'Streibes Findling'	3l C.G 10-15cm	6/m ²
59	COD3	Cotoneaster conspicuus decorus	3l C.G 3l	5/m ²
17	DAB3	Daphne racemosa	3l C.G bushy 30-40cm high	4/m ²
41	FAT3	Fatsia japonica	40-60 3l bushy	5/m ²
54	GRG3	Genista tinctoria 'Royal Gold'	3l C.G bushy	5/m ²
148	GRIL3 db1	Grisellina litoralis 3 db1	3l C.G bushy double staggered row	5/m ²
23	HCO3	Hebe 'Great Orme'	3l C.G 30-40 3l	4.5/m ²
22	HCO3	Hebe 'Great Orme'	3l C.G 3l	4/m ²
55	HEA3	Hebe albicans	25-30 3l	4/m ²
24	HESA3	Hebe salicifolia	3l C.G	4/m ²
17	HYP3	Hypericum calycinum	3l C.G bushy 20-30cm high	4/m ²
76	HYM3	Hypericum x moserianum	3l C.G 3l	4/m ²
29	LYM3	Leymus arenarius	3l C.G 30-40cm high bushy	4/m ²
23	MAP3	Mahonia aquifolium 'Apollo'	3l C.G 3l	5/m ²
29	PACHYGS3	Pachysandra terminalis 'Green Sheen'	3l C.G 10-15cm high bushy	5/m ²
765	PRL3	Prunus laurocerasus	40-50cm 3l bushy	4.5/m ²
24	SARCOH3	Sarcococca hookerana digyna	3l C.G 30-40cm high bushy	5/m ²
62	YUBEA	Yucca Bright Edge	3l C.G 3l	4/m ²

Herbaceous

Number	Abbreviation	Species	Specification	Density
51	AMM3	Armeria maritima	3l C.G 20-30cm high	5/m ²
55	DRY3	Dryopteris filix-mas	10l	6/m ²
35	GERSP3	Geranium 'Spinners'	3l C.G	5/m ²
10	KNIS3	Kniphofia 'Royal Standard'	3l C.G min 15 breaks	5/m ²
69	LEYM3	Leymus arenarius	3l C.G min 30 breaks	5/m ²
24	LIRIOMBB3	Liriope muscari 'Big Blue'	3l C.G min 15 breaks	4/m ²
9	MONC5	Monarda Cambridge Scarlet	3l C.G	5/m ²

Climbers

Number	Abbreviation	Species	Specification	Density
2	HEDJ15	Hedera helix 15	15l C.G 1.8-2.2m long	Counted
9	HEPJ4	Hedera helix 'Green Ripple'	80-100 4l	Counted
1	PYCC3	Pyracantha coccinea 'Red Cushion'	30-60 3l	Counted
3	TRAJ10	Trachelospermum jasminoides	10l (min 1m)	Counted

Grasses

Number	Abbreviation	Species	Specification	Density
39	DESCH3	Deschampsia flexuosa	3l C.G more than 25 breaks	4/m ²
94	MOLCA3	Molinia caerulea	3l C.G more than 30 breaks	4/m ²

NOTES:

- 1.0 All planting & landscape operations to comply with Landscape Specification, BS4482(1989) 'Recommendations for General Landscape Operations' and BS3936 Pt 1 (1992) 'Specification for Nursery Stock Trees and Shrubs'. All container sizes shown are minimums acceptable - all plants to be supplied to sizes indicated.
- 2.0 All ornamental shrubs to be planted at regular spacings in rows set diagonally to the edge of the bed.
- 3.0 All ornamental shrub beds and hedges to be provided with coarse grade bark mulch minimum 50mm deep.
- 4.0 PLANTS NOT SUPPLIED TO THE HEIGHTS INDICATED WILL BE REJECTED - CONTAINER SIZES ARE A GUIDE ONLY AND SHOULD NOT BE USED AS THE BASIS FOR ORDERING STOCK FROM SUPPLIERS. THE CONTRACTOR IS TO ENSURE THAT ALL PLANTS ARE TO THE HEIGHTS SPECIFIED.
- 5.0 Drawing based on Architects Site Layout Plan 1820-71
- 6.0 Topsoil to be 450mm deep in all shrub areas.
- 9.0 Parking bays to be defined with white lining
- 10.0 PROGRAMME SCHEME TO BE IMPLEMENTED PRIOR TO THE OCCUPATION OF THE BUILDING.
- 11.0 Refer to construction drawings prepared by others, or consult with Contract Administrator, for details of paving layouts, alignments etc.
- 12.0 BOUNDARY TREATMENTS:
 - A-B: Existing 1500mm high chainlink fence to be removed and replaced with new 450mm high knee rail to define boundary.
 - B-C: Existing 1500mm high chainlink fence to be removed, boundary to be defined by wall of new building.
 - C-D: Existing 1500mm high chainlink fence to be removed and replaced with new 1500mm high metal railings.
 - D-E: Existing hedge to be removed. Boundary to be defined by wall of new buildings, with gaps for pedestrian access.
 - E-F: Existing hedge & chainlink fence to be removed. Boundary to be defined by wall of new building.
 - F-G: Existing chainlink fence to be retained.
 - G-H: Existing knee rail in poor condition to be removed and replaced with new 450mm high timber knee rail.
 - H-J: Existing chainlink fence to be removed and replaced with new 450mm high timber knee rail, with openings for access.
 - J-K: Existing chainlink fence to be removed and replaced with new 450mm high timber knee rail.
 - K-A: Existing chainlink fence to be removed and replaced with new 450mm high timber knee rail, with openings for access.

E	1 Mar 25	JP	Living wall added
B	17 Dec 24	JP	Revised to latest site plan
D	10 Sept 24	JP	Revised to latest site plan
C	6 June 23	JP	Revised to Arch request
B	5 June 23	JP	Planting details added
A	17 May 23	JP	Boundary treatments added
Rev	Date	By	Notes

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Client	VIVIR PROPERTIES LTD.		
Project	SOUTHBOURNE CROSS CAR PARK SOUTHBOURNE		
Drawing Title	LANDSCAPE PROPOSALS		
Drawing Status	Planning		
Scale	Date	Drawn By	
1/200 @ A1	15 May 2023	JP	
Drawing No.	2356/1F		



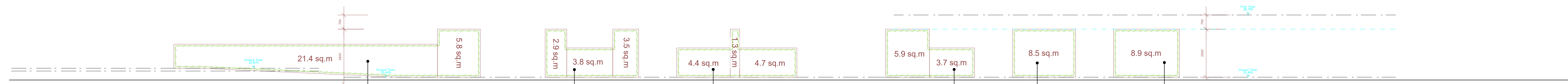
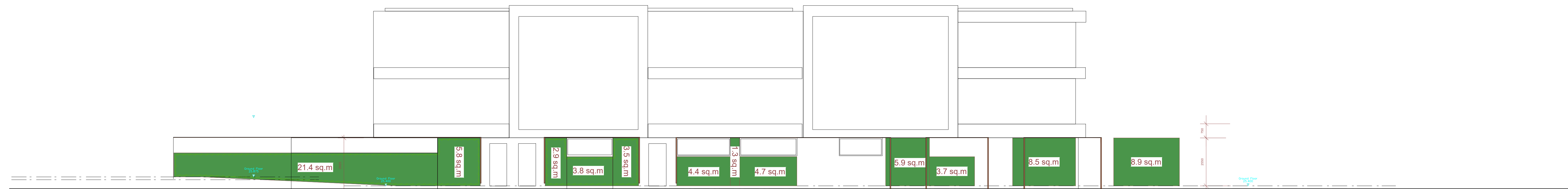
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PLANT SCHEDULE

Shrubs	Number	Abbreviation	Species	Specification	Density
	250		<i>Lavandula angustifolia</i> 9cm	9cm pot grown	30/m ²
	250		<i>Origanum vulgare</i> 9cm	9cm pot grown	30/m ²
	250		<i>Salvia pratensis</i> 9cm	9cm pot grown	30/m ²

Grasses				
Number	Abbreviation	Species	Specification	Density
250		<i>Leymus arenarius</i> 9cm	9cm pot grown	30/m ²

Perennials				
Number of Plants	Abbreviation	Species	Specification	Density
272		<i>Armeria maritima</i> 9cm	9cm pot grown	30/m ²
250		<i>Bromus hordeaceus</i> 9cm	9cm pot grown	30/m ²
250		<i>Sedum acre</i> 9cm	9cm pot grown	30/m ²
250		<i>Silene gallica</i> 9cm	9cm pot grown	30/m ²
250		<i>Trifolium arvensis</i> 9cm	9cm pot grown	30/m ²



- 98 No. *Armeria maritima* 9cm 12%
 90 No. *Bromus hordaceae* 9cm 11%
 90 No. *Lavandula angustifolia* 9cm 11%
 90 No. *Leymus arenarius* 9cm 11%
 90 No. *Origanum vulgare* 9cm 11%
 90 No. *Salvia pratensis* 9cm 11%
 90 No. *Sedum acre* 9cm 11%
 90 No. *Silene gallica* 9cm 11%
 90 No. *Trifolium arvense* 9cm 11%

- 37 No. *Armeria maritima* 9cm 12%
34 No. *Bromus hordaceus* 9cm 11%
34 No. *Lavandula angustifolia* 9cm 11%
34 No. *Leymus arenarius* 9cm 11%
34 No. *Origanum vulgare* 9cm 11%
34 No. *Salvia pratensis* 9cm 11%
34 No. *Sedum acre* 9cm 11%
34 No. *Silene gallica* 9cm 11%
34 No. *Trifolium arvense* 9cm 11%

- 38 No. *Armeria maritima* 9cm 12%
35 No. *Bromus hordaceacus* 9cm 11%
35 No. *Lavandula angustifolia* 9cm 11%
35 No. *Leymus arenarius* 9cm 11%
35 No. *Origanum vulgare* 9cm 11%
35 No. *Salvia pratensis* 9cm 11%
35 No. *Sedum acre* 9cm 11%
35 No. *Silene gallica* 9cm 11%
35 No. *Trifolium arvense* 9cm 11%

- 35 No. *Armeria maritima* 9cm 12% —
32 No. *Bromus hordaceus* 9cm 11%
32 No. *Lavandula angustifolia* 9cm 11%
32 No. *Leymus arenarius* 9cm 11%
32 No. *Origanum vulgare* 9cm 11%
32 No. *Salvia pratensis* 9cm 11%
32 No. *Sedum acre* 9cm 11%
32 No. *Silene gallica* 9cm 11%
32 No. *Trifolium arvense* 9cm 11%

- 31 No. *Armeria maritima* 9cm 12%
29 No. *Bromus hordaceacus* 9cm 11%
29 No. *Lavandula angustifolia* 9cm 11%
29 No. *Leymus arenarius* 9cm 11%
29 No. *Origanum vulgare* 9cm 11%
29 No. *Salvia pratensis* 9cm 11%
29 No. *Sedum acre* 9cm 11%
29 No. *Silene gallica* 9cm 11%
29 No. *Trifolium arvense* 9cm 11%

- 33 No. *Armeria maritima* 9cm 12%
30 No. *Bromus hordaceacus* 9cm 11%
30 No. *Lavandula angustifolia* 9cm 11%
30 No. *Leymus arenarius* 9cm 11%
30 No. *Origanum vulgare* 9cm 11%
30 No. *Salvia pratensis* 9cm 11%
30 No. *Sedum acre* 9cm 11%
30 No. *Silene gallica* 9cm 11%
30 No. *Trifolium arvense* 9cm 11%

A	18 Mar 25	JP	Lines omitted, building elevation added
Rev	Date	By	Notes

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Client VIVIR PROPERTIES LTD.		
Project SOUTHBOURNE CROSS CAR PARK SOUTHBOURNE		
Drawing Title LIVING WALL PROPOSALS		
Drawing Status Planning		
Scale 1/100 @ A1	Date 1 March 2025	Drawn By JP
Drawing No. 2356/3A		



PARTRIDGE ASSOCIATES